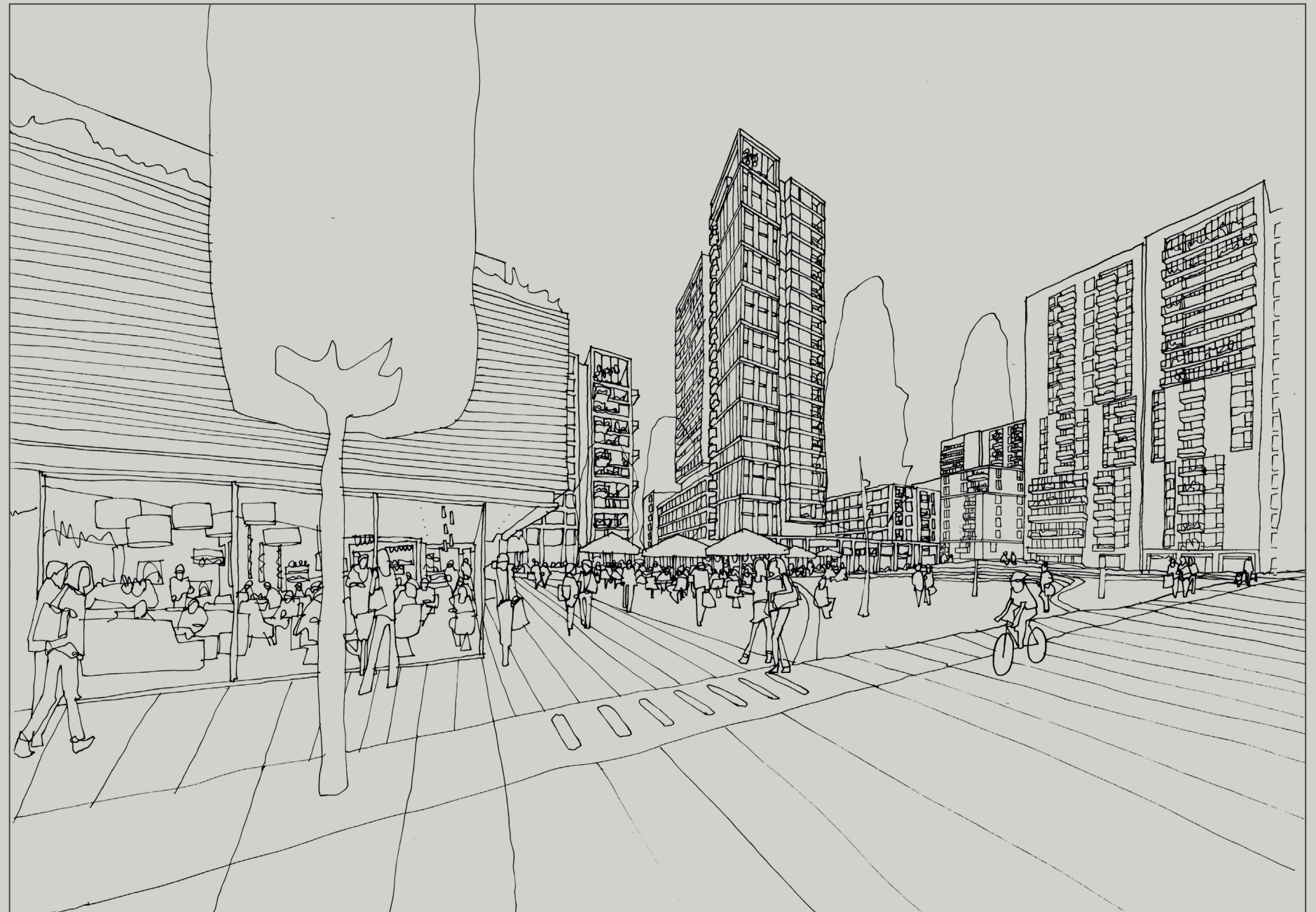


## SDRA 12

# Masterplan for Player Wills, Dublin City Council and Bailey Gibson Lands

January 2020



Prepared by



**Hines**



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# INTRODUCTION

## 1.1 Background and Context

Constructed in the 1950's St Teresa's Gardens, was one of the largest public housing complexes built by Dublin City Council. By the late 1990's, this complex was identified as an area in need of regeneration arising from a number of issues including outdated residential accommodation, anti-social behavior and social deprivation. The St. Teresa's Regeneration Board, established in December 2005 by Dublin City Council, developed a Masterplan for the site. A Public Private Partnership (PPP) was proposed for the site to provide for the demolition and redevelopment of the complex. However, the project fell through in 2009 due to the collapse of the national economy.

The site of St Teresa's Gardens was first zoned for 'regeneration' in 2008 by way of a variation which was made to the Dublin City Development Plan 2005-2011. Between 2010 and 2013, working in partnership with the Department of Environment, Community and Local Government, St Teresa's Regeneration Board and residents of St Teresa's Gardens, Dublin City Council examined various options for the redevelopment and renewal of this area. Following an extensive period of consultation with the local community and all stakeholders, a new site Masterplan providing for the regeneration of the area including its integration to the surrounding urban area was developed and finalised.

Between 2013 and 2014, a number of approvals under the Part 8 process provided for the construction of 50 no. new housing units, the temporary refurbishment of 2 no. blocks, the demolition of 10 no. flat blocks and the provision of the first phase of a public park to be expanded along Donore Avenue in future phases. These approved works are currently under construction.

The current City Development Plan 2016-2022 has designated the lands as a Strategic Development and Regeneration Area (SDRA 12 – St Teresa's Gardens). This designation led to the preparation and subsequent adoption of a non-statutory Development Framework Plan in July 2017 which transposes the objectives of the City Development Plan for the SDRA (12) into an integrated planning framework. The specific development principles as outlined in the City Development Plan impacted on the original Part 8 primarily as a result of the significantly increased amount of public open space (increased from 10% to 20% of land area) required under the SDRA designation. In addition, the approved development objectives required provision of a purpose built multi-sport playing field of c.1.14 hectares.

As part of the implementation process a recent Part 8 application (Reg. Ref. 2475/18) was approved in 2018 on City Council lands which forms an integral part of the Development Framework Area and provides for 4 no. additional homes, together with amendments to 12 no. previously permitted residential units. In addition, this approved Part 8 provides for the first phase of the public park along with the demolition of the remaining flat complexes, all of which is to facilitate future phases of the regeneration project. Further phases of the development envisage the provision of a community park with a multi-sport playing pitch along with mixed use and residential accommodation on the City Council lands which form part of the regeneration area.

Building on the original 2017 Development Framework Plan, the Masterplan provides for an integrated approach to the development of public and private lands in a manner consistent with the original Framework Plan 2017 and the City Development Plan SDRA designation.

The stimulus for the preparation of this Masterplan is two-fold:

- i. Since the adoption of the current City Development Plan and the publishing of the Development Framework Plan, national planning policy has changed with the publication of the Project Ireland 2040 - National Planning Framework and the Eastern and Midlands Regional Spatial Economic Strategy together with Ministerial Guidelines including Guidelines on Urban Development and Building Heights for Local Authorities and the Design Standards for New Apartments – Guidelines for Planning Authorities both published in 2018
- ii. The coming into single ownership of the Player Wills and Bailey Gibson sites

The preparation of this Masterplan represents the City Council's commitment to securing the regeneration objective as established in the City Development Plan and realising the individual projects, housing, parks, sports and retail highlighted in the 2017 Development Framework Plan for St. Teresa's Gardens and Environs.

## 1.2 Masterplan Approach

This Masterplan seeks to maintain the established guiding principles for regenerating the area and safeguard the Framework requirements including:

- Delivering a high quality, high-density residential led mixed-use quarter with complementary uses
- Promoting a mix of tenure and residential unit types
- Sensitively developing the interface of the Masterplan lands with surrounding existing low-rise residential dwellings
- Increasing the scale of development toward the centre of the Masterplan lands
- Providing generous, well designed, attractive, multifunctional public open space with good orientation, connectivity, and passive and active supervision
- Integrating a municipal playing pitch
- Defining the public realm and public and private open space
- Using appropriate boundary treatments to define and secure private space
- Promoting active streets through integration of ground floor entrances and aligning commercial space with existing surrounding roads
- Incorporating generous pedestrian zones and limiting surface level carparking
- Developing a comprehensive soft landscaping strategy
- Developing a network of street and public spaces to ensure the social and economic integration of St. Teresa's Gardens with Player Wills and Bailey Gibson sites and the surrounding area
- Ensuring north/south (Cork St. & Donore Avenue connection to South Circular Road) permeability and east/west (Dolphin's Barn Street and Cork Street) is achieved

- Providing a range of community facilities accessible to the wider community, including sports facilities
- Management of surface water using a softer green approach for all developments with an emphasis on an integrated design strategy with landscaping proposals to provide Sustainable Environmental Infrastructure
- Highlighting the heritage of the local area
- Providing for the future expansion of St. Catherine's National School

The mix of land uses identified in the 2017 Framework Plan are being maintained. They include:

- Residential
- Mixed-use
- Public Park/Open Space
- Multi-Sport Area
- Private Open Space
- Playgrounds
- New School

The spatial distribution of the land uses proposed in the Framework Plan has been reviewed, and for some of these uses, it

is considered that their distribution would benefit from refinement following further detailed consideration of layout and design parameters.

In addition, regard was had to national and regional policy and the need for compact regeneration and growth, through maximising the development opportunities present in the existing built environment. To demonstrate compliance with this new national policy, further consideration has been given to appropriate distribution of built development across the site in order to maximise the site's potential to deliver increased densities. This results in some refinement to the Development Framework Plan parameters.

Adjustments have been made to the building height strategy in response to new national Building Height Guidelines. The current City Development Plan policy allows for consideration of taller buildings on this site. This Masterplan adjusts the height strategy to reflect national policy without compromising amenities of existing residential and other surrounding land uses.

The refined height strategy allows for more clarity in relation to the grading of height, with lower heights around the site perimeter allowing for greater height towards the center of the site. An integrated and coherent design approach is delivered through this height strategy.





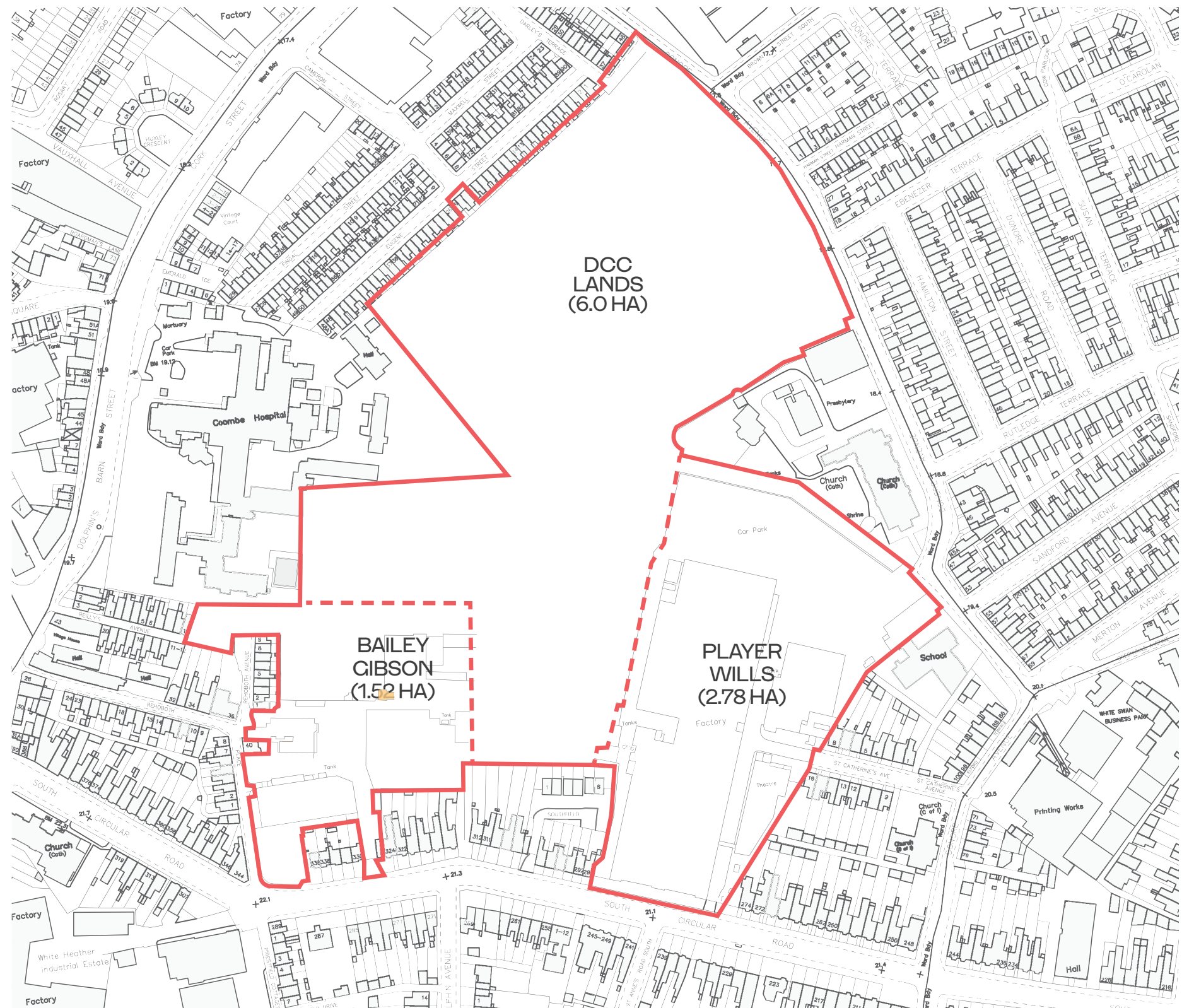


## SITE LOCATION & CONTEXT

## 2.1 Site Location

The Masterplan lands are situated inside the canal cordon and comprises 3 no. land parcels with a total area of 10.3 hectares, namely: DCC lands (6 hectares), Players Wills (2.78 hectares) and the full extent of the Bailey Gibson lands (1.52 hectares). The Coombe lands (2.32 hectares) which form part of SDRA 12 are excluded from Masterplan as there are no immediate proposals for the relocation of the Coombe Hospital.

The Masterplan lands share internal boundaries and have frontage onto South Circular Road to the south, Donore Avenue to the north and Eugene Street to north west, Rehoboth Place and Rehoboth Avenue to the west and St. Catherine's Avenue to the east. Access to the lands is provided from all these streets with the exception of St. Catherine's Avenue. It should be noted that there is no existing linkage between the individual sites.



Ownership

— Site Location

- - - Ownership (Hines)

MASTERPLAN



## 2.2 Surrounding Land Uses



Collage showing surrounding land uses. From top left, clockwise: views from Cork Street, Lullymore Terrace, Donore Avenue, Cork Street, Dolphin's Barn, South Circular Road, St. Luke's Avenue, Dolphin's Barn, Cork Street, Maxwell & Eugene Street, Donore Avenue, Cork Street.





Map of the Area

- ① St. James's Hospital
- ② Diageo/Guinness site at St James' Gate
- ③ St. Catherine's National School
- ④ St. Catherine's Church
- ⑤ St. James's Church of Ireland
- ⑥ St. Teresa's Church
- ⑦ Mosque
- ⑧ The Coombe Women & Infants University Hospital
- ⑨ Bailey Gibson Site
- ⑩ Player Wills Site
- ⑪ St. Teresa's Gardens
- ⑫ Donore Youth and Community Centre
- ⑬ Weaver Park
- ⑭ Griffith Barracks

Streets and Routes

- ⑮ Newmarket Square
- ⑯ Francis Street
- ⑰ Rehoboth Place
- ⑱ Dolphin's Barn Street
- ⑲ Cork Street
- ⑳ Marrowbone Lane
- ㉑ Donore Avenue
- ㉒ South Circular Road
- ㉓ Grand Canal
- ㉔ Maxwell St.
- ㉕ Eugene St.



## 2.2 Surrounding Land Uses

### 1. Introduction

The South West Inner City of Dublin is a vibrant part of our capital city and there are major plans and projects which will be progressed and completed over the coming years, including the new Children's Hospital at St James's, the major re-development of the Diageo/Guinness site at St James' Gate and the development of Newmarket Square and Francis Street.

The surrounding lands are varied in character and use and incorporate medical uses, housing, recreational, small neighbourhood shops, St. Catherine's National School, St. Catherine's & St. James's Church of Ireland and St. Teresa's Church.

The Coombe Women & Infants University Hospital occupies an area of 2.32 hectares and forms part of the Masterplan's eastern boundary. The lands associated with the Coombe Hospital are excluded from Masterplan as there are no immediate proposals for its relocation.

### 2. A Sense of Place

The Masterplan lands have a rich and multi-layered history. The growth of the cloth manufacturing industry in the area in the 17<sup>th</sup> Century, coupled with the traditional industries of milling and tanning, increased industrial activity and population in the area and today's street network reflects this historical context.

By the end of the eighteenth century, the district suffered from overcrowded conditions and poor facilities, although much of the area remained in agricultural use into the 20<sup>th</sup> Century.

The lands were first identified for regeneration in 2005, almost 15 years ago. During that time the community has been heavily involved in the development of the various iterations of the plans that shape the area's future.

A Regeneration Board consisting of Dublin City Council officials, local elected representatives, community groups and residents to contribute to the establishment of and support of facilities in the area. Groups and programmes taking place locally - including the community garden, the Targeted Response for Youth (TRY) programme, and the oral history programme 'Remembering St. Teresa's Gardens'.

Financial and organisational support is provided to other organisations including Donore Community Drug and Alcohol Team, the Donore Education Network, Boxing Club, Football Club and Senior Citizens. The aim of the Regeneration Board is to ensure that all relevant views are represented, and that regeneration is delivered to the benefit of the whole community.

### 3. Physical Context

The Dublin City Council lands include the former St Teresa's Gardens housing complex which was designed c. 1940 by Dublin Corporation Architects under the aegis of H.G. Simms, Chief Housing Architect. The scheme of twelve four-storey blocks was completed in 1951, comprising 346 units with ground floor shops and communal facilities fronting Donore Avenue. 10 terraced houses were built subsequently. From the late 1970s onward, St. Teresa's Gardens began to suffer from the effects of social deprivation with consequent problems of anti-social behaviour. The site was identified for regeneration in the 1990s. A Part 8 planning permission was approved for the demolition of all but two blocks of the complex, and construction of a 54-unit social housing scheme together with Phase 1 of a public park.

The Player Wills site is occupied by a disused factory building formerly associated with the tobacco industry that has extensive frontage onto South Circular Road. The site is highlighted in the Dublin City Development Plan as a key site within the SDRA that benefitted from planning permission for its full redevelopment for 494 dwelling units, office and retail units, a supermarket, crèche, school and community centre and 2 no. restaurant/cafes (Ref. 3130/06, Appeal Ref. 221190) (now lapsed). Access is via South Circular Road and Donore Avenue.

The site of the Player Wills factory complex evolved over a considerable period from 1923 to the mid-1980s. The chronology of the buildings is illustrated below. Whilst not included on the Record of Protected Structures the original building is included on the National Inventory of Architectural Heritage (NIAH) and is rated of Regional Significance with architectural, historic and social special interest.

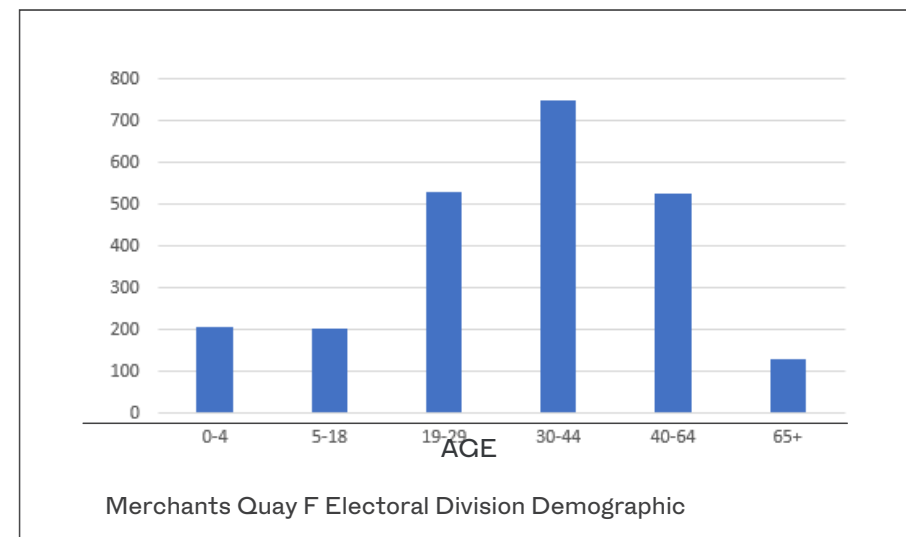
Bailey Gibson is roughly square-shaped and is bounded to the west by Rehoboth Place/Rehoboth Avenue with terraces of 2-storey houses and by the Coombe Hospital and the Council Playing fields to the north (rear). Access to the site is gained principally by means of an entrance located between Nos. 324 and 330 on South Circular Road. There is also frontage to Rehoboth Place with access points along this frontage. The eastern boundary is also formed by the Playing Fields (Boys Brigade).

Bailey Gibson previously benefitted from planning permission (Ref. 3130/06) for a mixed-use development, comprising 484 no. apartments, retail, a school, childcare facility, a community centre, and food and beverage units together with parking at basement level.

## 4. Demographic Profile

The Masterplan lands are located in Merchants Quay F Electoral Division (ED) and according to Census 2016 has a population of 2,158. The population declined by 11% between 2011 and 2016 and this decline can in part be attributed to the demolition of St. Theresa's Gardens. The total households in the ED is 871, which means that the average household occupancy is 2.48 persons per household. This is lower than the national average which is 2.75 but is consistent with household occupancy for Dublin City.

A high proportion of the population is aged 19-64 i.e. within the working age cohort. Merchants Quay F had an average age of 33 years in 2016. The lone parent ratio is 37.25% and properties rented from local authorities is 19.4%.



In terms of education attainment, 49% of the population have 3<sup>rd</sup> level education.

Pobal identifies the ED as having a deprivation score of 5.4 i.e. marginally above average. The deprivation index measures the relative affluence or disadvantage of a particular geographical area using 10 key indicators derived from Census data including: the proportion of skilled professionals, education levels, employment levels, and single-parent households found in an area.

There are 21 Electoral Divisions within the 1km zone of influence. According to Census 2016, the population of the catchment area for the site is 68,945 and the population increased by 7% in the intercensal period. This is higher than the average intercensal increase of 5% for Dublin City and significantly higher than the national increase of 4%. The overall population trend is expected to continue with increased population growth and urbanisation putting pressure on the need for more homes and associated infrastructure.

## 5. Key Streets/Routes

Rehoboth Place is a narrow route, connecting the Bailey Gibson site with Dolphin's Barn Street and is occupied by terraces of 2-storey houses.

Dolphins Barn Street/Cork Street is approximately 100m west of the subject lands. This street acts as a major thoroughfare to the City Centre and is flanked with an eclectic mix of architectural styles with traditional buildings pepper potted with modern development. A period of redevelopment between 2003 and 2010 produced some notable new buildings and brought new residents to the street, with large residential schemes such as Timberyard and Southgate. The street is in a state of transition and is now undergoing a second phase of rehabilitation in tandem with the regeneration of neighbouring Newmarket. The Cork Street/ Marrowbone Lane/Donore Avenue junction and environs is a commercial, residential, and community hub for Cork Street.

South Circular Road consists almost exclusively of 2-storey Victorian dwellings and Donore Avenue, Maxwell and Eugene St. are predominately residential with some small neighbourhood shops.

## 6. Zoning

The DCC lands, Player Wills and part of the Bailey Gibson site is zoned 'Z14' with an objective to seek the social, economic and physical development and/or rejuvenation of an area with mixed-use, of which residential and 'Z6' [enterprise and employment use] would be the predominant use. The purpose of the Z6 zoning is to provide for the creation and protection of enterprise and facilitate opportunities for employment creation. Part of the Bailey Gibson site, 0.83 hectares, is Zoned 'Z4' - to provide for and improve mixed -services facilities. Additionally, the north-west corner of the site 0.1 hectares is zoned Z1 Sustainable Residential Neighbourhoods with the aim of the Z1 Zoning Objective is "To protect, provide and improve residential amenities. Residential development is a Permissible Use under both Z4 and Z14.

The lands are largely identified as Strategic Regeneration and Development Area (SDRA) 12 - St. Teresa's Gardens & Environs in the Dublin City Development Plan 2016-2022. A non-statutory Development Framework Plan was adopted in 2017 which translates the objectives for the SDRA 12 into an integrated plan for the sit.

## 2.3 Community Audit

Chapter 12 of the City Development Plan highlights that good neighbourhoods serve as focal points for the surrounding community with a range of services and facilities. Audits are recognised as beneficial to informing social infrastructure provision in other regeneration schemes such as the Docklands. It is policy (SN6) for City Council to undertake a Community Audit (CA) for Strategic Development and Regeneration Areas (SDRAs), where appropriate.

The Development Plan includes a reference to social infrastructure in its core strategy as a tool to address quality of life in the city. It includes a planning objective as follows:

QH18: To promote the provision of high-quality apartments within sustainable neighbourhoods by achieving suitable levels of amenity within individual apartments, and within each apartment development, and ensuring that suitable social infrastructure and other support facilities are available in the neighbourhood, in accordance with the standards for residential accommodation.

The Plan defines social infrastructure as:

“The physical infrastructure necessary for successful communities, i.e. shops, schools, libraries, community centres, cultural spaces, health centres, facilities for the elderly and persons with disabilities, childcare facilities, parks, and other facilities and spaces for play and recreational activity”.

A Community Audit has been prepared by McCutcheon Halley Planning Consultants, to inform the master planning process. The purpose of the CA is to identify existing provision of social and community facilities within the categories of: Education and Training, Health, Sport and Recreation, Social/Community/Faith, Arts and Culture and Convenience, Retailing to inform the appropriate range of social infrastructure for the master plan lands.

The subject lands are a strategically significant regeneration area within the canal cordon. The audit’s study area is 1km and represents a walk time of approximately 15 minutes, this is considered appropriate for accessing services.

### Childcare

16 no. childcare facilities with a capacity of 617 were identified within the 1km catchment area. Additionally, a childcare facility at St. Clare’s, Harold’s Cross, recently received permission (Reg. Ref. 4040/17).

There are 3,478 no. children aged 0-4 within the 21 no. ED examined for this assessment, all within 1km of the subject site. Applying the Dublin childcare uptake of 25% as outlined in the CSOs Quarterly National Household Survey, there is an existing demand within the catchment for 870 no. childcare spaces.

The overall childcare demand emerging from the Masterplan proposals, assuming that all 0-4-year olds will require a crèche place, is calculated as approximately 231..

NAME	WALK TIME (minutes)	CAPACITY
Tír na nÓg Early Childhood Development Service	10	25
Dolphin Crèche	9	6
Children’s Centre, Rialto Community Drug Team	9	8
The First Steps Trust Ltd	11	32
Child’s Play	13	46
Loreto Preschool Crumlin	14	24
Fatima Groups United Children’s Day Care Centre	10	29
Mercy Family Centre	12	76
Sophia Nurturing Centre Cork Street	14	11
Kiddies Korner	14	45
Footprints Early Years Ltd	9	24
Menni Services	15	6
Nest Childcare and Montessori	11	34
Creative Kids and Co.	16	35
Pearse College Community Crèche	14	100
Marist Crèche	15	31
St. Clare’s Harold’s Cross	15	85
<b>TOTAL</b>		<b>617</b>

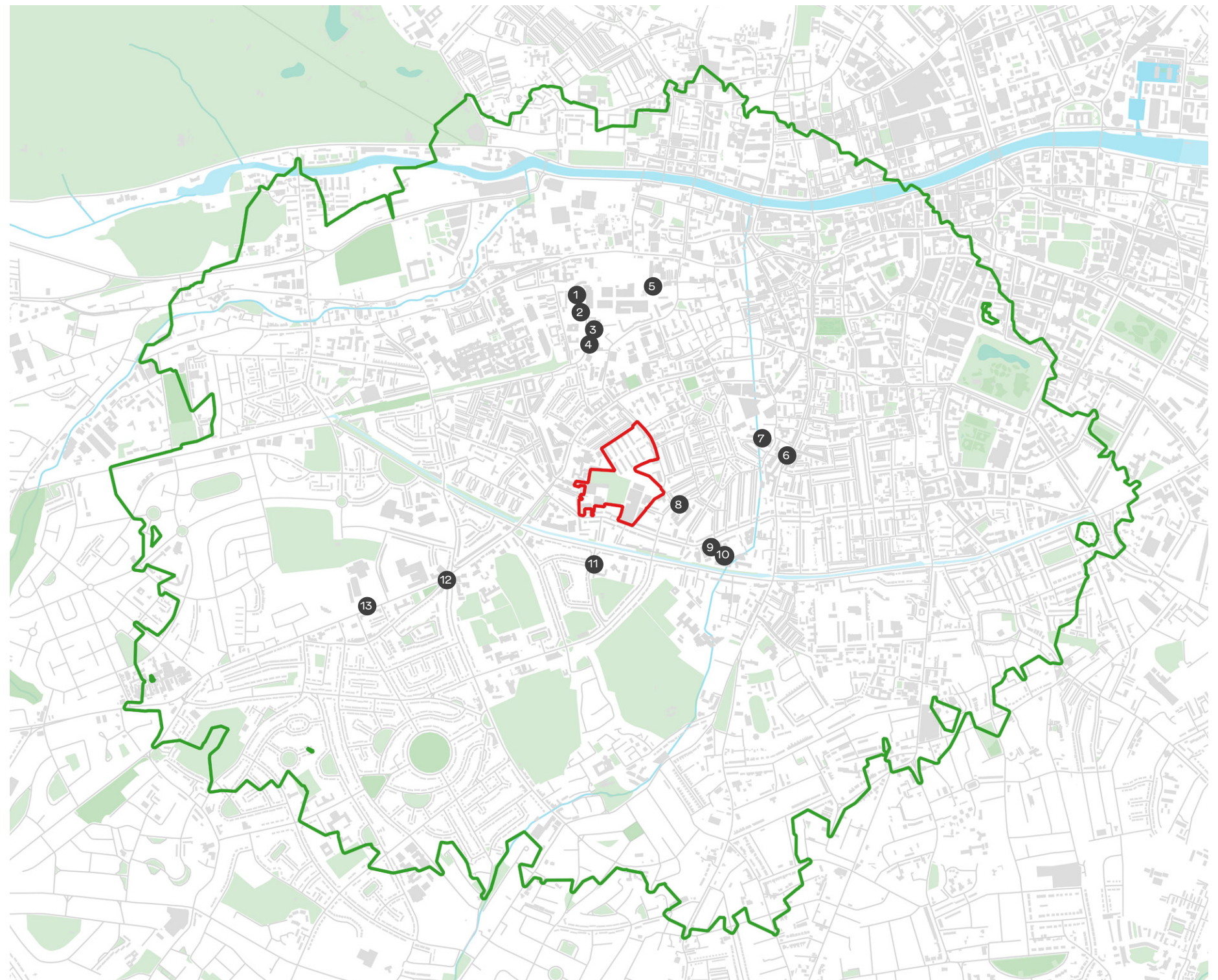


## Education

The area is well served by primary and post primary schools and has two third level colleges located within close proximity. There are 9 no. primary schools, 3 no. post-primary schools and 2 no. third-level facilities.

- |                                 |   |
|---------------------------------|---|
| 1 Mater Dei National School     | 8 St. Caterine's National School                |
| 2 St. James's Primary School    | 9 Griffith Barracks Multi-Denominational School |
| 3 CBS James Street              | 10 Griffith College                             |
| 4 Canal Way Educate Together    | 11 Scoil Iosagain                               |
| 5 St. Caterine's Primary School | 12 Loreto College                               |
| 6 Presentation Primary School   | 13 Crumlin College                              |
| 7 Presentation Secondary School |   |

- Site Location
- 30 min walking distance



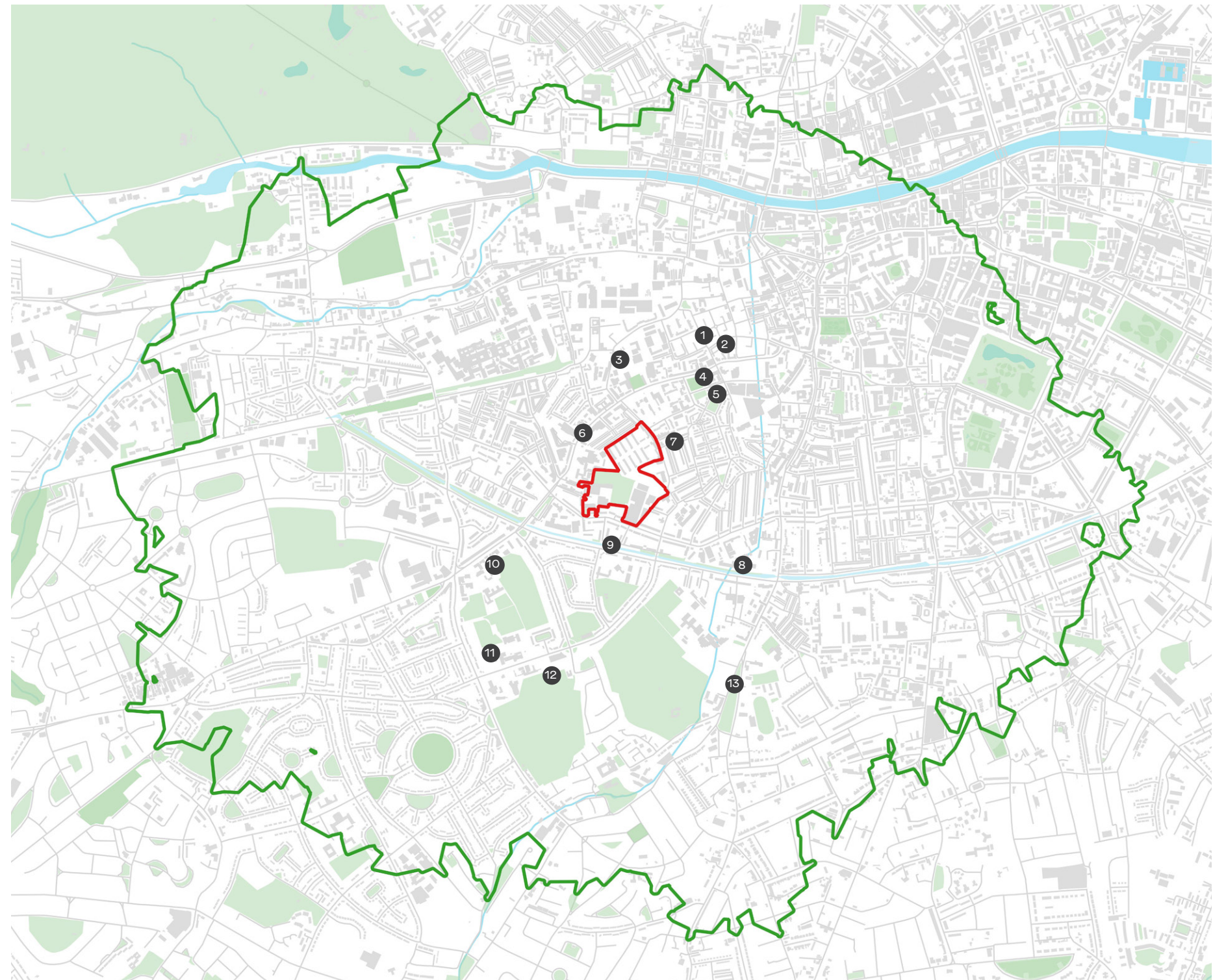
Primary and Post Primary Schools within a 30 Minutes Walking Distance  
Source: Google Maps



## Sports & Recreation

A number of sports and recreational facilities are located in the area, catering for various needs and ages. They include sports clubs, 3 no. playgrounds, several parks, a number of allotments and the Grand Canal. A major park is also planned as part of the SDRA 12 Framework Plan.

- |                                  |                                     |
|----------------------------------|-------------------------------------|
| 1 Pimlico Playground             | 7 Donore Boxing Club                |
| 2 Pimlico Allotments             | 8 National Stadium                  |
| 3 St. Catherine's Sports Centre  | 9 Grand Canal                       |
| 4 Weaver Park                    | 10 Templeogue GAA Club              |
| 5 Weaver Square Community Garden | 11 Pearse College Allotments        |
| 6 St. Teresa's Boys & Girls FC   | 12 Eamonn Ceannt Playground         |
|                                  | 13 Harold's Cross Park & Playground |
- 
- |   |
|---|
|  Site Location           |
|  30 min walking distance |



Sports and Recreational Facilities within a 30 Minutes Walking Distance  
Source: Google Maps

## Culture/ Community

4 no. Youth and Community services were identified:

1. Donore Youth and Community Centre provides a community hall, computer room and rooftop garden. Community activities include dancing, counselling services and community bingo with youth activities including art/drama, homework club and outreach work
2. The Rialto Youth project aims to offer young people education, cultural and social opportunities in a safe and secure environment
3. The Clay Youth Project is community based and offers young people a range of services - activities include sports, walks and social outings
4. The Fr. Lar Redmond Community Centre offers the community opportunities to take part in various activities

## Health

Several health facilities are located within the 1km buffer zone. Two hospitals, the Coombe and St. James's, a hospice, Our Lady's Harold's Cross, a medical centre, and 2 no. GP's were identified.

## Retail

Several convenience retail outlets have been identified within the 1km buffer zone. These include a number of smaller shops, a Tesco Express and a Lidl supermarket. Cork Street is designated as a civic and commercial hub and it is important not to undermine this function within the retail and commercial hierarchy.

## Summary Findings

- There is an existing deficit in childcare provision within the catchment. The Masterplan proposes over 970 no. residential units capable of accommodating families and development of the lands would generate a requirement for an additional approximately 231 no. spaces. Childcare facilities should be considered in any future development proposals.
- Provision exists within the SDRA 12 Framework for the expansion of St. Catherine's National School.

- The audit identified a deficit in local health care service providers e.g. GPs and dental services, pharmacies etc. and future development proposals should consider integrating commercial space capable of accommodating such services.

- Cork Street is the convenience retailing centre and as such this should not be undermined. Therefore, any retail use should be confined to local neighbourhood shops.

- While the research did not identify many dedicated arts and cultural and artist's studio facilities in the study area, it is notable that the community centres provide for an extensive range of activities, as well as a community space for gatherings and local shows. There is an opportunity to seek to provide additional community and or cultural uses as part of the development of the Masterplan lands.

- There are a number of significant open space/sports and recreation facilities in the area. There is however potential for additional facilities to be provided in the Masterplan area.



## SITE ACCESSIBILITY



### 3.1 Overview

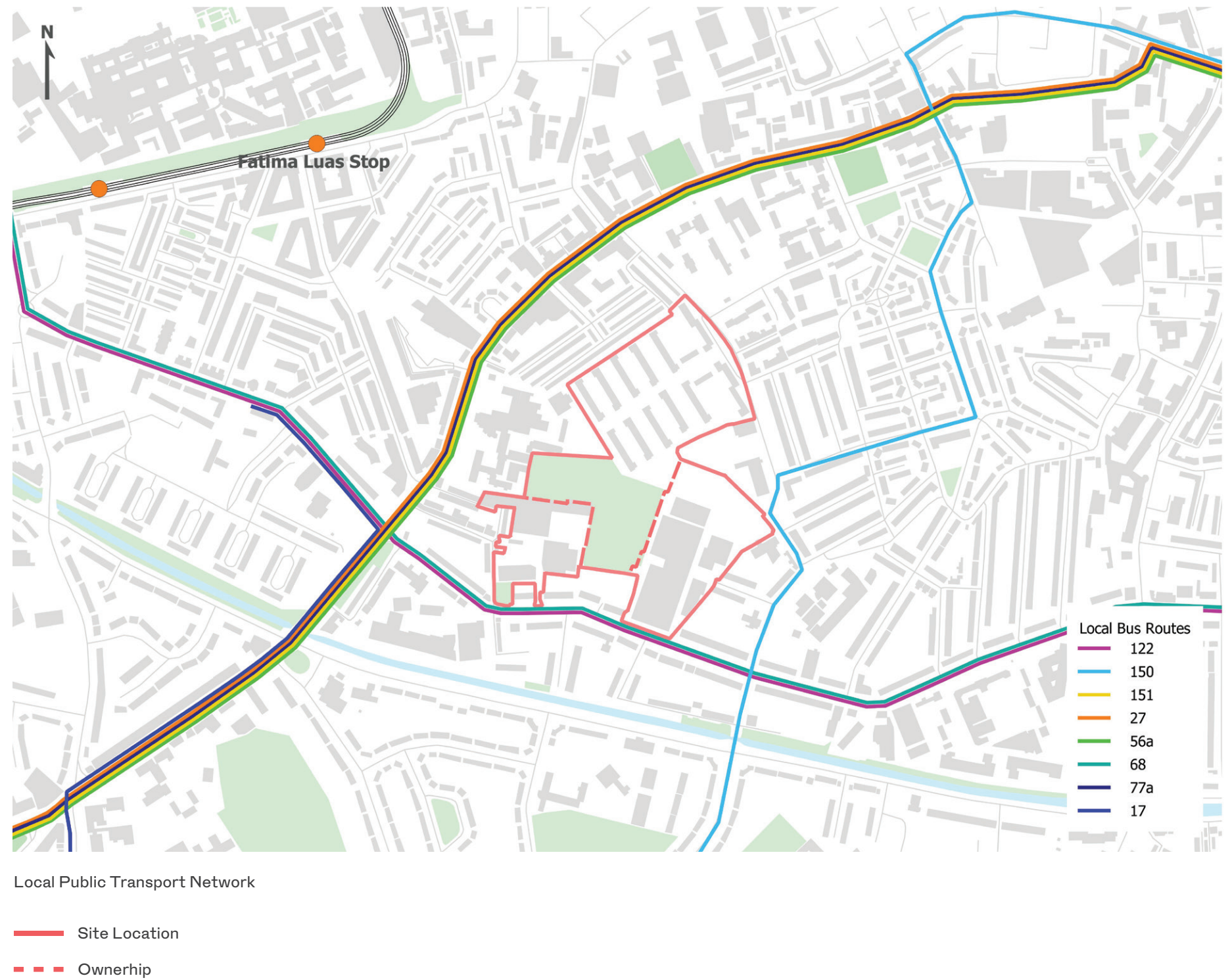
The Masterplan lands are ideally located in close proximity to the city centre and other employment centres, in addition to frequent public transport services. The transport and mobility strategy seeks to capitalize on the site's accessible location and maximise opportunities for sustainable travel, a policy of the DCC Development Plan & Climate Change Action Plan. The following sections discuss the accessibility by public transport, walking and cycling.

### 3.2 Public Transport Accessibility

The Masterplan lands are located within a 5 minute walk of high frequency bus routes along South Circular Road, Donore Avenue and Cork Street - a designated Quality Bus Corridor. The Fatima Red Line Luas stop is also within 10 minutes walking distance. The site is therefore in an accessible, urban location as defined by the criteria set out in section 4.20 of the DHPLG Design Standards for New Apartments. The figure to the right illustrates the existing public transport network local to the site.

Using local public transport it is possible to be in the city centre within 15-20 minutes, Docklands in 30 minutes and City West Campus in 40 minutes. Furthermore, there are also a number of planned improvements to the local and wider transport network as part of the Greater Dublin Area Transport Strategy. Higher frequency bus routes are planned for South Circular Road & Cork Street with greater levels of priority also to be provided along both corridors.

As detailed in the DCC Draft Climate Change Action Plan, the council is committed to working with the National Transport Authority to achieve the objectives of the QDA Transport Strategy which aims to double all active and public transport trips by 2030.



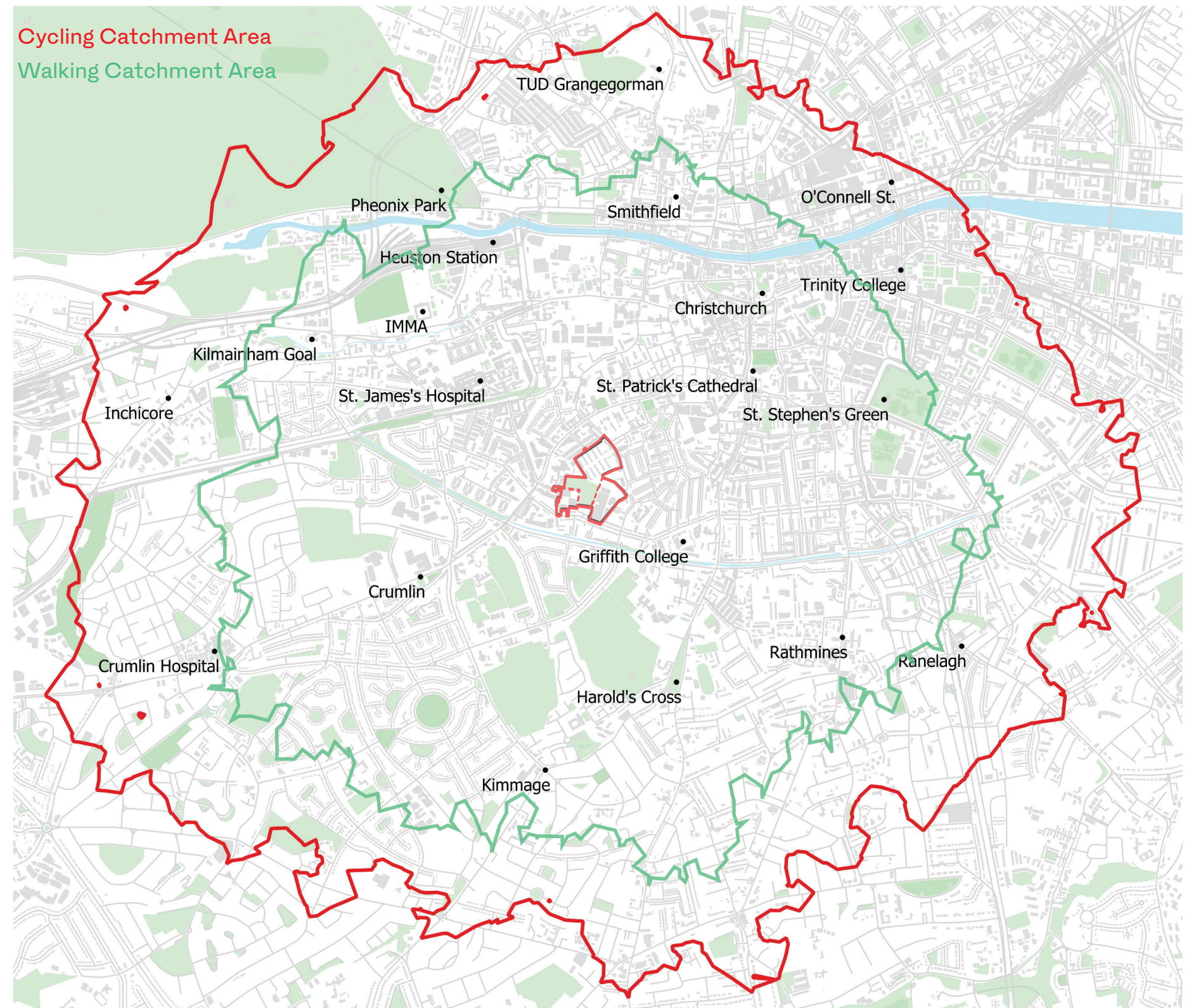


### 3.3 Walking/Cycling Accessibility

The site is also within a convenient walking and cycling distance of the city centre and a number of other large employment centres as well as leisure and retail facilities.

St. James's Hospital, home to the new national children's hospital, is within 15 minute walk of the sites as is Griffith College and the Guinness Storehouse. The city centre is a 25-30 minute walk. Heuston Station, the Phoenix Park and the Royal Hospital Kilmainham are also within a 30 minute walk of the site. In total, there are an estimated 90,000+ jobs within a 30 minute walk of the site.

The city centre, TUD Grangegorman and Heuston Station amongst many others are all within a 15 minute cycle of the site, as shown in the figure to the right. There are an estimated 160,000+ jobs within a 15 minute cycle of the site.



- (External boundary) 15 Minute Cycling Catchment
- - - (Internal Boundary) Site Location
- 30 Minute Walking Catchment



# HIGH LEVEL DESIGN & LAYOUT



## 4.1 Proposed Layout

### INTRODUCTION

This section describes in general terms the key baseline parameters that will remain unchanged from the development Framework and the items that will be refined in this Masterplan

'The following remains unchanged from the 2017 Development Framework:

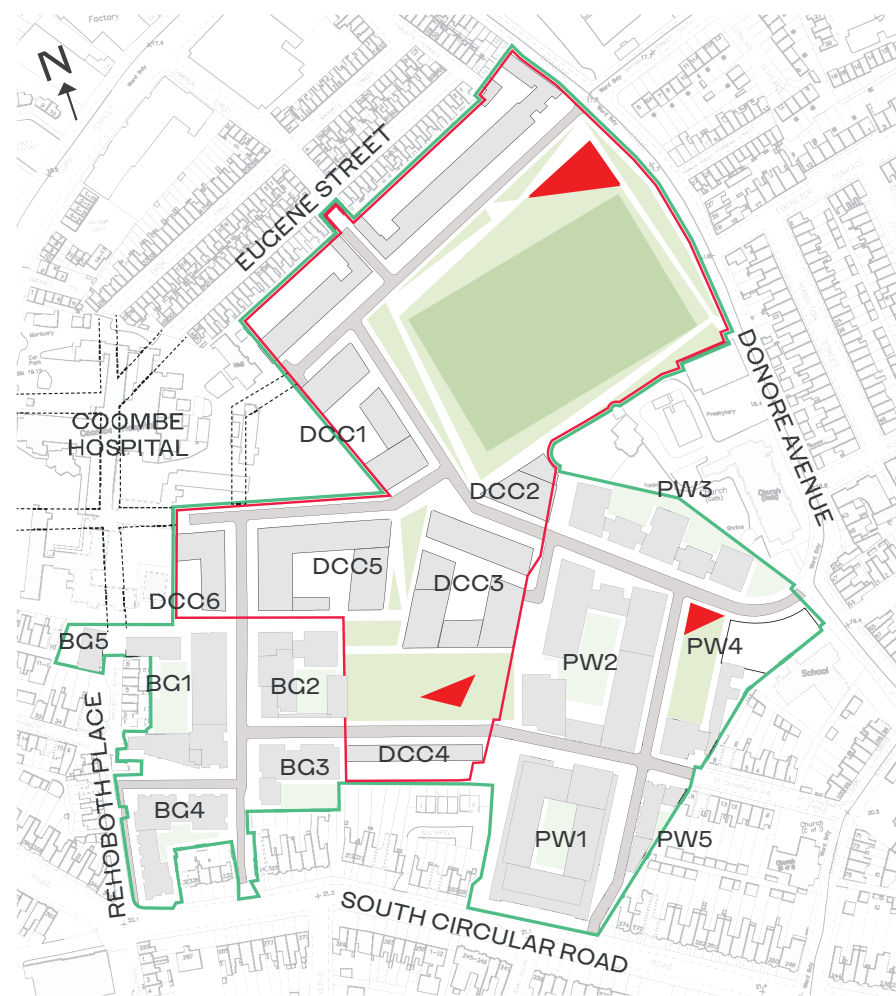
- The general street layout
- The general block locations
- The general open space location

A comparison of the below 'Development Framework Plan' and the 'Masterplan layout demonstrates that there is only minor refinements proposed to the principles established in the Framework Plan. These refinements are described in the next section'

### DEVELOPMENT FRAMEWORK PLAN



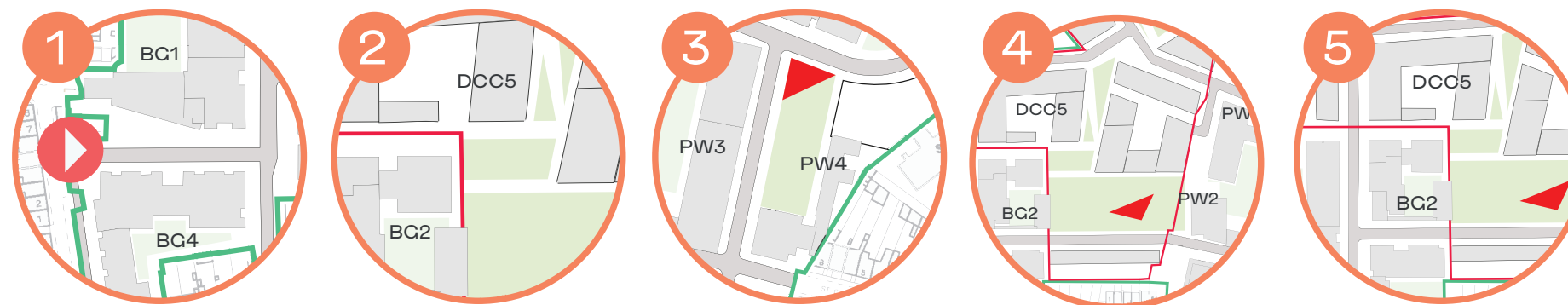
### MASTERPLAN



### KEY REFINEMENTS

The layout is substantially the same as the 2017 SDRa Framework Plan with only minor adjustments proposed:

1. Improved vehicular connection with Rehoboth Place and South Circular Road. The Masterplan proposes to increase the carriageway along Rehoboth Place and connect to an entry street positioned south of No.40 Rehoboth Place. The arrangement eliminates the SDRa road network pinch point that is created by No.40 Rehoboth Place, a property outside of the SDRa lands and outside of DCC/Hines APG ownership. The road network adjustment necessitates a change in building line from the SDRa for Blocks BG1 & BG4. Pedestrian and cyclist connection with Rehoboth Place is maintained with BG1 building line adjusting to allow a visual vista into the SDRa Lands
2. Relationship between blocks in different ownership improved. The Framework Plan proposal for blocks DCC5 & BG2 straddled the DCC/Hines APG ownership line creating both buildability and building management/ownership complications. The Masterplan proposes a revised building line for both blocks removing these difficulties
3. A redistribution of open space to create a Local Park adjacent to the School. The park forms a green buffer between the SDRa development and the School/Donore Avenue residences
4. Street hierarchy established with the main streets increasing from 15 to 18 metres
5. A comprehensive sunlight examination of the proposed SDRa building blocks has been carried out, see the "Overshadowing & Sunlight Access" Chapter for more information. The results have informed the shaped the proposed Masterplan massing, allowing for better penetration of sunlight into the public spaces and residential courtyards



## 4.2 Mix of Uses

The Masterplan seeks to deliver the framework for a development which responds to the land-use zoning for the lands and which responds to the community audit. In this respect the Masterplan allows for a residential scheme, with ground floor active uses such as community/cultural uses, childcare, school extension, retail, food and beverage units and tenant amenity spaces.

### 1. Residential

The residential component shall comprise a mix of units to respond to current market demand, and traditional market units. The exact mix of rental vs. market housing, and the typologies, shall be determined at planning application stage having regard to market demand.

### 2. Ground Floor Active Uses

Ground floor active uses shall be provided at key locations to generate activity at ground floor level and to ensure high levels of passive surveillance.

Key locations for active use will be:

- Prominent corner locations
- Frontages facing on to public open space
- Key/primary street frontages

Active uses can be provided in the form of:

- Tenant amenity spaces (for build to rent) which provide active frontage
- Retail uses (convenience, comparison and/or retail services)
- Cafés and restaurants
- Public house
- Community/Cultural

Own door access to residential units at ground floor will be taken into consideration in creating active frontages when appropriately interspersed with other active uses listed above. Retail and café/restaurant uses shall be at a scale to service local needs of the existing local community as well as the needs of the future Masterplan area.

### 3. Open Space

The refined Masterplan shall deliver public open space generally in accordance with the SDRA Framework requirements. A re-balance and/or re-distribution of this open space will be considered to respond to specific layout requirements and to ensure appropriate spatial distribution of open space across the Masterplan lands.

The development of a municipal playing pitch on the DCC lands is a key component of the Masterplan.

A playground will be provided on the Player Wills site adjacent to St. Catherine's National School.

A hierarchy of public parks of differing scales and functions catering for passive and active recreation will be distributed across the DCC and Player Wills site. A plaza at the entrance from Rehoboth Place to the Bailey Gibson site will provide an opportunity for the community to gather.

### 4. Social and Community

- Education

The site to the north-east of the Player Wills site is reserved for a school extension.

- Childcare

For the purpose of childcare provision, studios and 1-bedrooms are discounted in line with policy guidance, as they are unsuitable for families.

	1	2	(1-2)
MASTERPLAN	MAX UNITS	STUDIO & 1-BED	FAMILY UNITS
DCC Lands	ca. 850	ca. 270	ca. 580
Player Wills	ca. 975	ca.735	ca. 240
Bailey Gibson	ca. 420	ca. 270	ca. 150
<b>TOTAL</b>			<b>ca. 970</b>

Applying the average household size of 2.48 persons (see section 2.3) per unit, 970 no. family units will generate a population of 2,406. In the Merchants Quay F Electoral Division 9.6% of the population are aged 0-4 years old, this is significantly higher than the State (7%) and Dublin City (5.5%). The Masterplan lands would thus generate 231 no. children aged 0-4. Across the 3 no. sites the following numbers would be generated:

- DCC Lands: c.138 no. children aged 0-4
- Player Wills: c. 57 no. children aged 0-4
- Bailey Gibson: c. 36 no. children aged 0-4

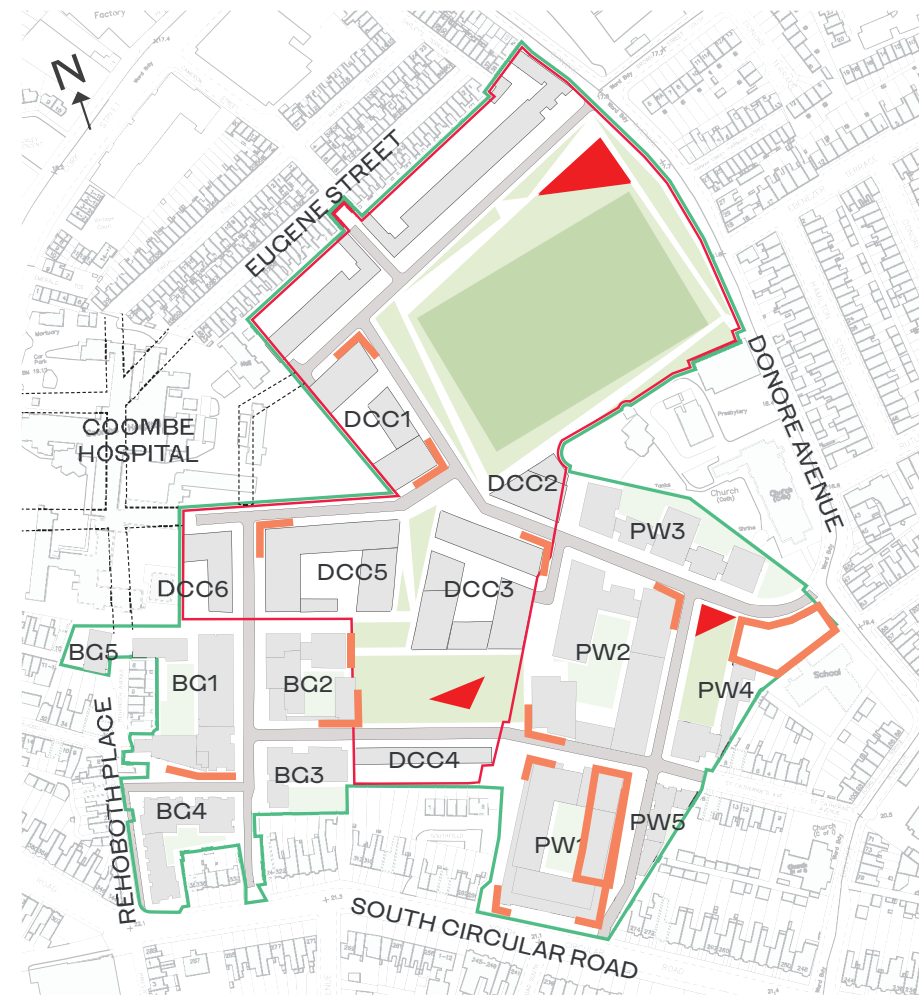
Recognising that the average national household size in the ED and City is below the State average of 2.75, it is appropriate to consider the findings under this scenario. 970 no. family units will generate a population of 2,667 and applying the State's 7% 0-4-year olds, the Masterplan lands would generate 187 no. children aged 0-4.

### 5. Arts, Culture and Community

The Player Wills factory building will be rehabilitated, and not less than 35% of the ground floor of the factory building, approximately 1100m<sup>2</sup>, shall be dedicated to community/cultural use, incorporating appropriate space to accommodate arts and culture activities.



### RETAIL/COMMUNITY AND CULTURAL

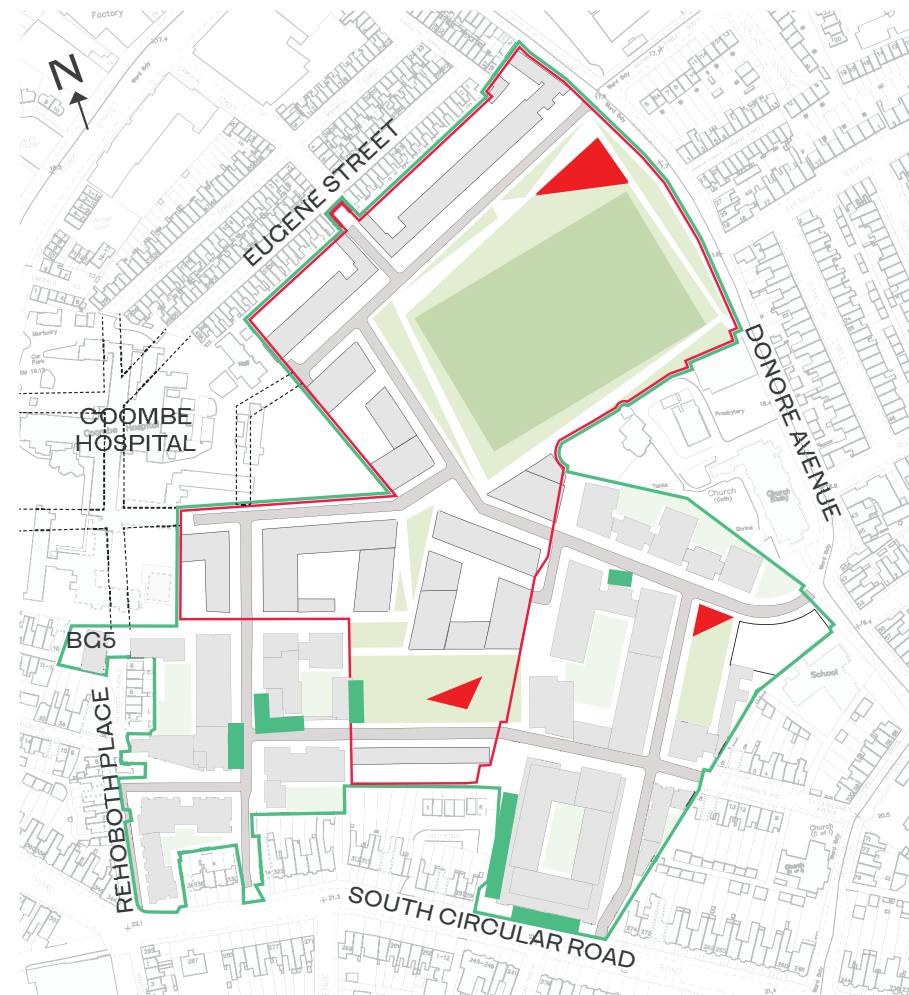


- Retail/Community and Cultural
- - - Ownership
- Site Location
- ▲ Playground

#### Indicative Locations for Retail/Community and Cultural

No less than 35% of the Ground Floor of the Player Wills Factory Building, approximately 1100m<sup>2</sup>, will be used for community and cultural uses.

### TENANT AMENITY



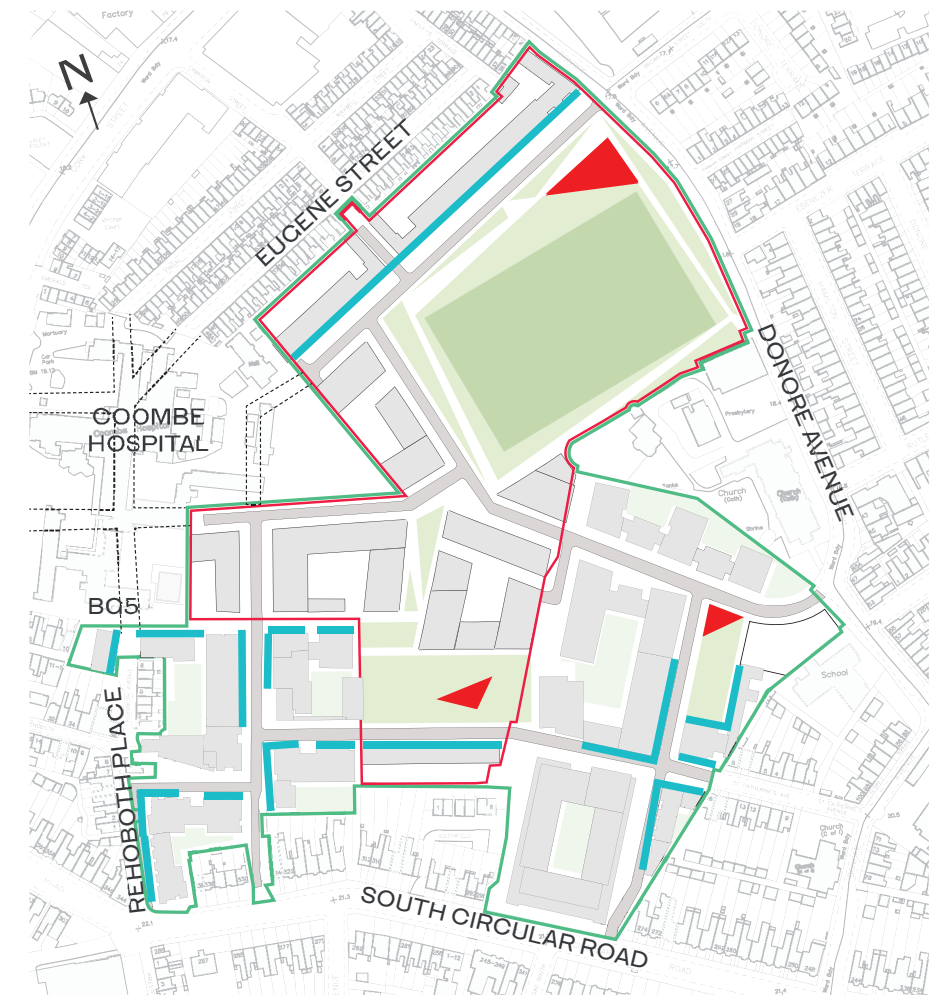
- Tenant Amenity
- - - Ownership
- Site Location
- ▲ Playground

#### Indicative Locations for Tenant Amenity

The tenant amenity spaces will comprise the following:

- Concierge
- Gym
- Large show kitchen
- Dining space
- Large living space for functions
- Cinema
- Cafe
- Games room
- Shared hotdesk office spaces

### OWN DOOR ACCESS



- Units Open to Street
- - - Ownership
- Site Location
- ▲ Playground

#### Indicative Locations for Own Door Access

Bailey Gibson will offer tenant amenities onsite overlooking the central park with more communal elements such as cinemas, games rooms and cafes housed in the Player Wills Factory.

The Player Wills factory building would be suitable for the provision of shared tenant amenity spaces for the wider population of the Masterplan area, allowing residents to appreciate the generous volumes and spaces of the heritage building.

## 4.3 Built Heritage

### Player Wills Factory

It is an objective of this Masterplan to retain the factory building for appropriate future re-use. The adaptive re-use of the factory building will be a conservation lead project. Whilst not a protected structure, David Slattery Conservation Architects (DSCA) have been retained to advise upon the special interest of the building which should be protected and enhanced in the re-use of the building.

DSCA have identified that inappropriate later interventions to the building, including the modern warehouses to the northern end of the Factory Building and the Single-Storey building, as well as the replacement of much of the original multi-pane steel fenestration with modern aluminium and UPVC windows, detracts from the character of the building.

DSCA have identified that the building could be considered to have Artistic, Architectural, Historic, Social and Technical interest and have outlined the following considerations:

#### Artistic

The subject building is a 20th century industrial building which utilises mass-produced materials and has a functional design with minimal decoration save for the front facade. The building was constructed over a series of phases, expanding to meet the demands of the factory, as outlined above. Whilst the building is an example of the Art Deco style and contains some cast and carved elements of ornament on its front facade it could only be considered to have a very limited artistic interest.

#### Architectural

There is significance to the subject building's contribution to the character of its setting along South Circular Road. The imposing mass and industrial Art Deco composition assert the building as a

distinct landmark within the red-bricked residential streetscape. To either side, the quality of the composition is repetitive and of a lesser significance although the twelve bays of the original 1924 factory retain dolphin's barn brick, concrete and steel casement windows (remnants). The 1930's second floor extension, although not part of the original, is an extrusion of the 1924 footprint which adds to the external character of the building on the front and to a lesser extent on the side.

#### Historic

The subject building can be considered to be of some historic significance, due to its place within the history of the Irish nation whereby British and other foreign companies were often allowed to establish factories in Ireland to preserve their Irish sales. It should be noted, however, that the high level of alterations from its original form, the construction of late 20th century warehouses, and the loss of significant original features, such as cottages for foremen and pleasure grounds for staff, detract from the character of the building, and its historic significance.

#### Social

The NIAH survey of the subject building considered it to be of social significance. This is due to the factory's presence as a significant employer in the area over many decades. This intangible social dimension to the building's history, whilst undoubtedly somewhat diminished by the cessation of the manufacture of tobacco at the premises, nevertheless still has some significance.

#### Technical

The building's structure (in steel and concrete) could not be considered technically innovative and there is no evidence of surviving internal mechanical fixtures, plant or machinery. Any technical significance that the building has must be considered quite limited on the basis of the criteria above.

In summary, the conservation advice and direction in respect of the building is:

- Internally, the building retains a combination of cellular office type spaces and larger factory volumes. These spaces are industrial and retain none of the original machinery and no decorative features of significance. The timber stairs and panelling to the entrance hall of the Front Offices onto the South Circular are mass-produced elements but could nevertheless be considered of some interest. The remainder of the building was in industrial use, and has no internal features of note. The structure is exposed and visible internally and might be considered to have an interest despite alterations to it to accommodate additional accommodation at second floor level.
- It is proposed to retain and restore all of the front and side facades of the 1924 phase building along with the 1930s second floor extension. The courtyard space and the facades facing into it are proposed to be retained also. Elements to the third floor and to the rear and side which do not form part of the coherent 1924 phase of building are proposed to be removed. All of the brick, concrete and stone elements to the facades are proposed to be retained, cleaned and repaired with the brick repainted locally where necessary. It is proposed to restore appropriate slim profile casement windows to the existing openings sympathetic to the original steel sections. No new openings are proposed to the three principal facades. A new north facade will be created at the end of the 1924 footprint where it has been extended. New extensions will be provided at roof level set back from the street. These will be provided using the existing structural value without any new structural grid being introduced into the existing structure
- A substantial program of asbestos removal will allow for the factory building to be put back into safe use. All of the floors and the structural elements to the interior are to be retained and restored with additional fire-proofing required to some of these elements. The interior to the entrance is to be retained with the timber staircase to it restored using replica components. Interventions will be made to alter the configuration of volumes within the factory building envelope with the location of partitions and enclosures altered from the present layout.



Having regard to the above, the key objectives in the adaptation and re-use of the factory building are:

- Retain, adapt and restore the main building fabric, whilst allowing for removal of unsympathetic later additions to the building.
- Provide active uses at the ground floor, with consideration being given to bar, café/restaurant, leisure, cultural/arts and retail uses in particular
- Facilitation of residential uses. Flexibility will be considered in relation to the type and size of residential accommodation units provided in order to tie in with existing modules of the factory building.

The refurbishment and reuse of the former Player Will Factory building will be a focal point of this new urban quarter and will contribute to the vitality and vibrancy of the area.

The retained factory building will also exhibit significant elements of sustainable design with the provision of green roofs throughout, substantially improved thermal performance characteristics and new and separate foul and surface water drainage systems.



Player Will's Factory Building, South Circular Road

- 1923, Factory No. 1
- 1924, Factory No. 2
- Late 1920s additions
- 1930s additions
- 1949 Restaurant & Canteen Extension
- 1955 Warehouse addition
- 1960s – 1960s Building
- 1985 Buildings



University Damesalen, Copenhagen



North Wall Quay, Dublin



## 4.4 Building Heights Rationale

It is a requirement of the Development Framework adopted by Dublin City Council in March 2017 to: “develop sensitively and at an appropriate scale at the interface of the SDRA lands with surrounding existing residential units. Increase the scale of development as appropriate towards the centre of the land block. The development plan allows for midrise development up to 50 metres in height cc. 15/16 stories residential in certain area of the SDRA lands”. The Masterplan adopts, examines and develops the established Framework Plan building height rationale.

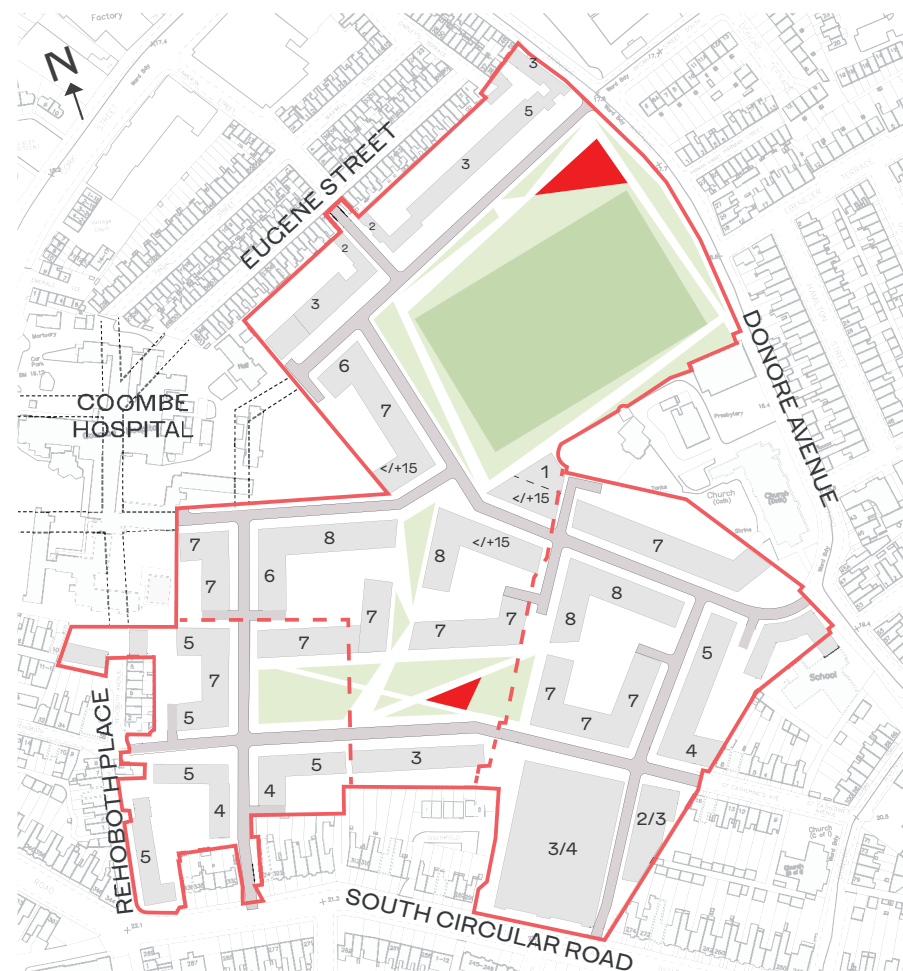
The rationale for reviewing the approach to building height arises from the emergence of changes in the national planning policy framework with the publication of the Development Framework Plan, national planning policy has changed with the publication of the Project Ireland 2040 - National Planning Framework and the Eastern and Midlands Regional Spatial Economic Strategy together with Ministerial Guidelines including Guidelines on Urban Development and Building Heights for Local Authorities and the Design Standards for New Apartments – Guidelines for Planning Authorities both published in 2018. These documents post date the City Council’s current Development Framework Plan for Teresa’s Gardens and SDRA.

Key to the rationale is developing a sensitive and appropriate scale at the fringes of the SDRA lands allowing the development to integrate with its surrounding residential neighbourhood. The perimeter interfaces were examined in the perimeter, intermediate and central blocks in detail and in most cases, the proposed building heights were reduced along the perimeter when compared to the Development Framework heights.

The increased scale is proposed centrally, where it will not materially impact upon neighbouring areas when considered against a range of environmental criteria, such as daylight/sunlight impact and visual impact. Taller buildings are grouped or cluster centrally to create a cohesive and strongly-defined new urban district. A collective considered new skyline is created. Taller buildings are positioned to terminate key vistas or flank public spaces allowing them to create a positive contribution to the urban realm within the Masterplan and from the surrounding neighbourhood.

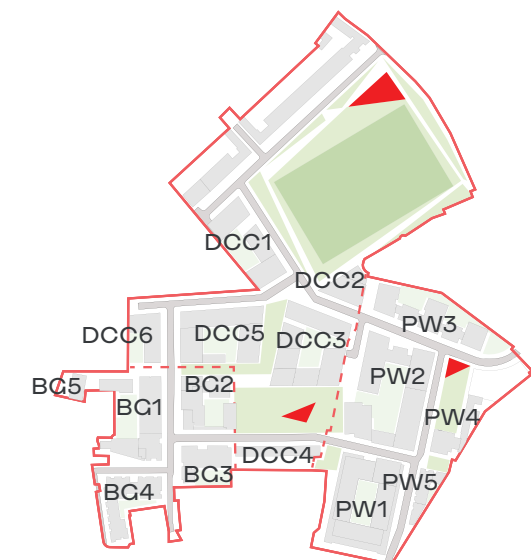
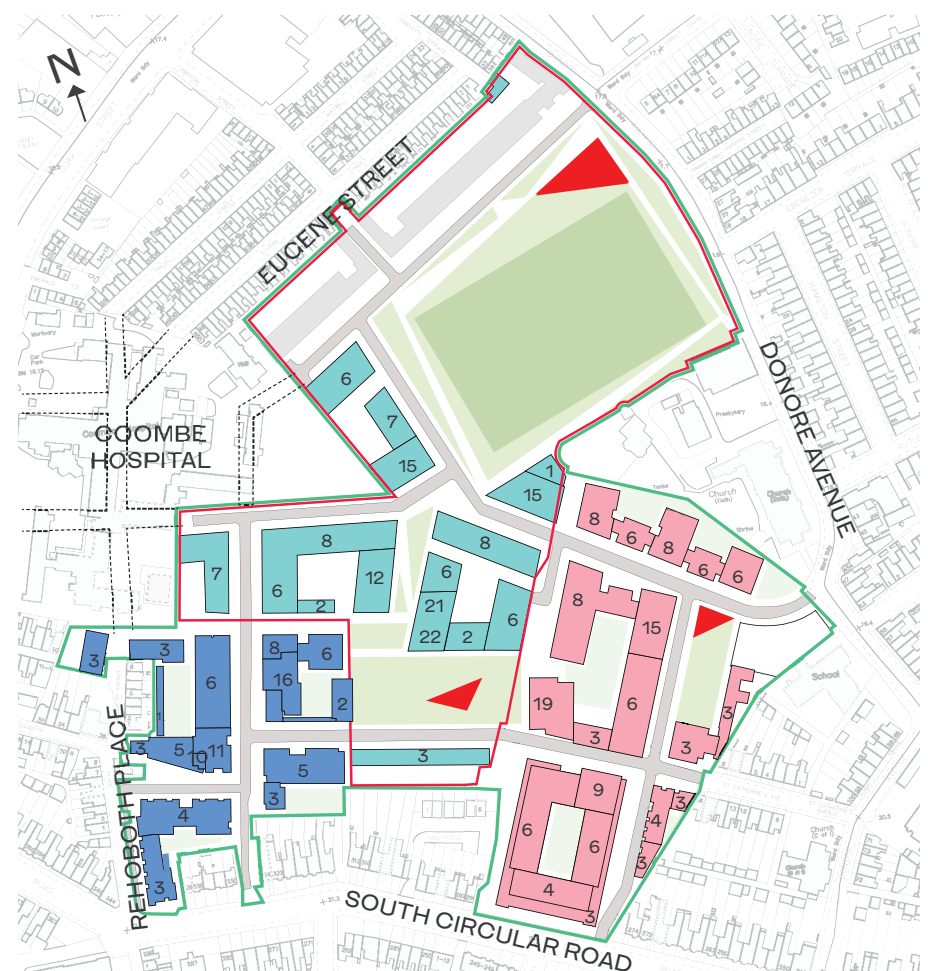
All building heights shown in this Masterplan are indicative and are intended to be maximums. Minor height increases above those stated may be considered where required for architectural expression.

SDRA MASTERPLAN



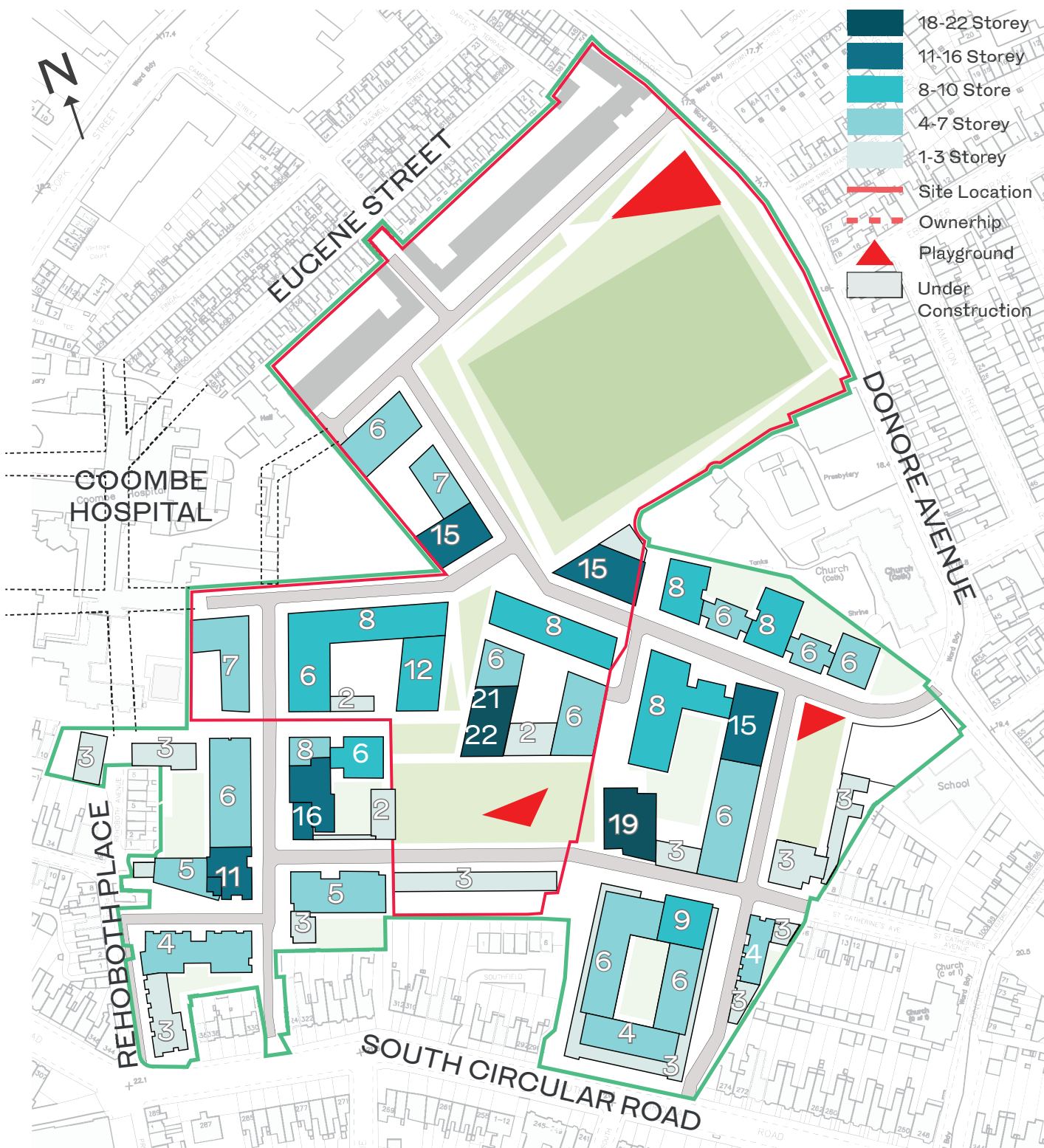
- Site Location
- - - Ownership
- ▲ Playground
- Under Construction
- Player Wills
- Bailey Gibson
- DCC Site

PROPOSED





# Building Heights



Building Hights Across DCC Lands, PW, and BC

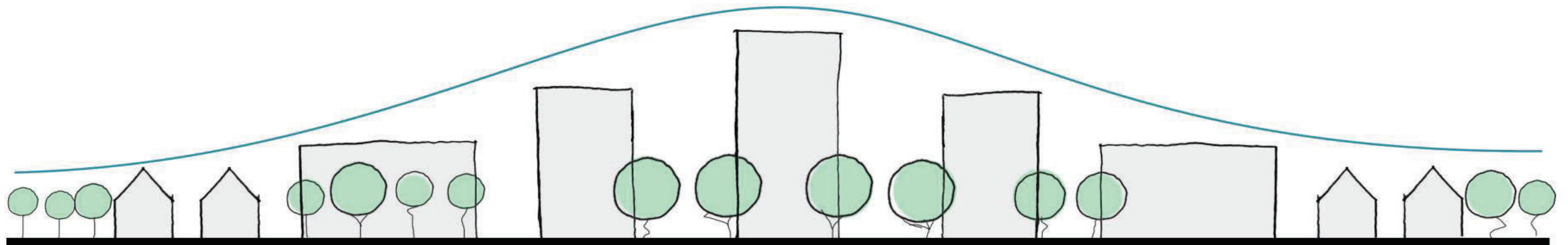
Through careful consideration of both their location and modulation of the massing, taller buildings create a new distinctive and contemporary landscape for Dublin 8.

The rationale for and the need to review the approach to building height derives from the recent introduction of new National Planning Policy . Publications including the National Planning Framework (2017), Regional Spatial Economic Strategy (RSES) for the Eastern Region (2019) together with Ministerial Guidelines on Apartment Standards and Building Heights (2018) have radically changed the policy context for assessing and determining appropriate building heights in urban areas. These new policy statements post date the city council’s 2017 Development Framework Plan for the St Theresa’s Gardens SDRA.

Together with a street-level visual impact assessment, the skyline composition of the taller blocks was continuously examined throughout the masterplanning proess. This 3-dimensional testing took place in both computer and physical modelling.

The sketches below (concept sketches and artist’s impression) illustrate the rationale behind the building height: increased scale is placed centrally, where it will have the least impact upon neighbouring areas.





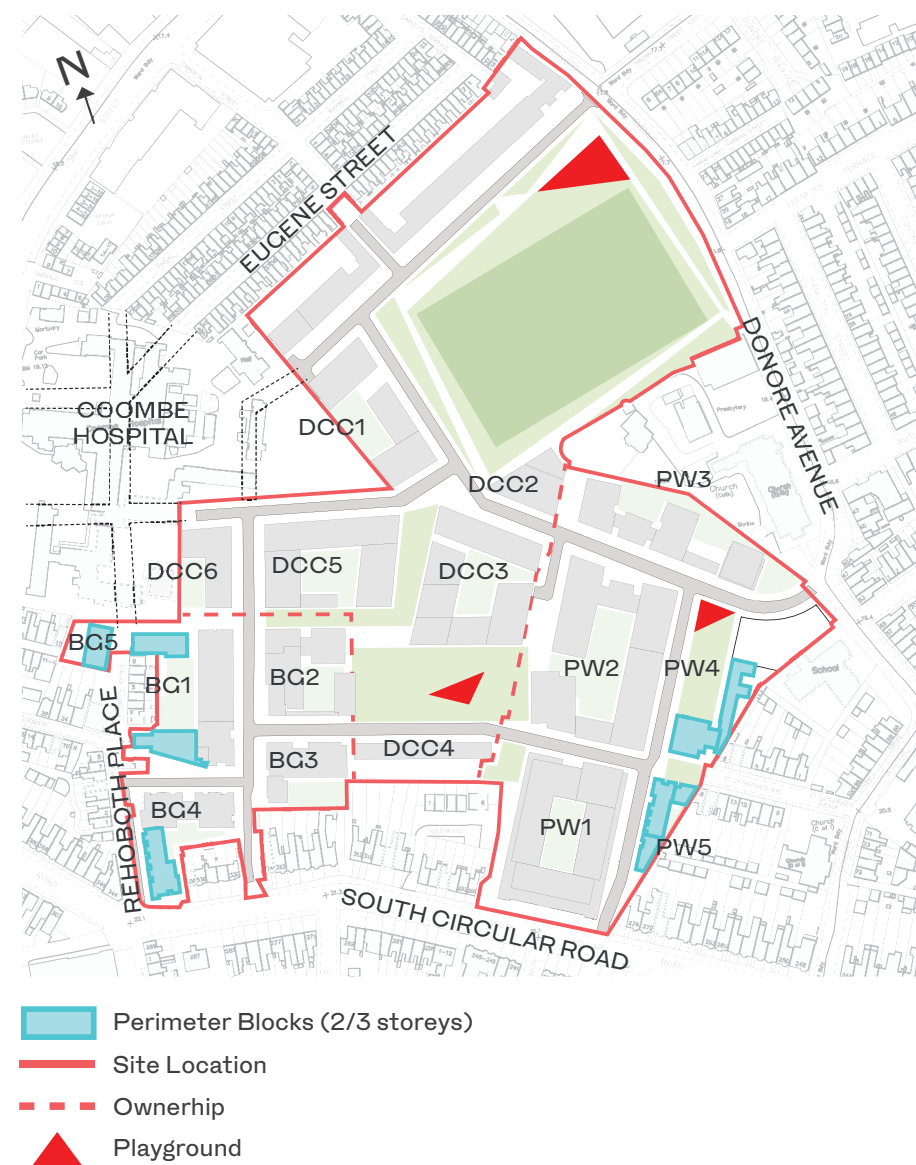
Artist's Impression Sectional Perspective

Tall buildings can create attractive landmarks marking points of significant activity such as central places and corridor nodes. The Masterplan utilises these innate qualities with the taller buildings positioned to terminate key vistas or flank public spaces. To add emphasis, parapets are increased locally, marking the adjacent node and creating a reduced scale on the skyline.



## Perimeter Blocks (2/3 Storeys)

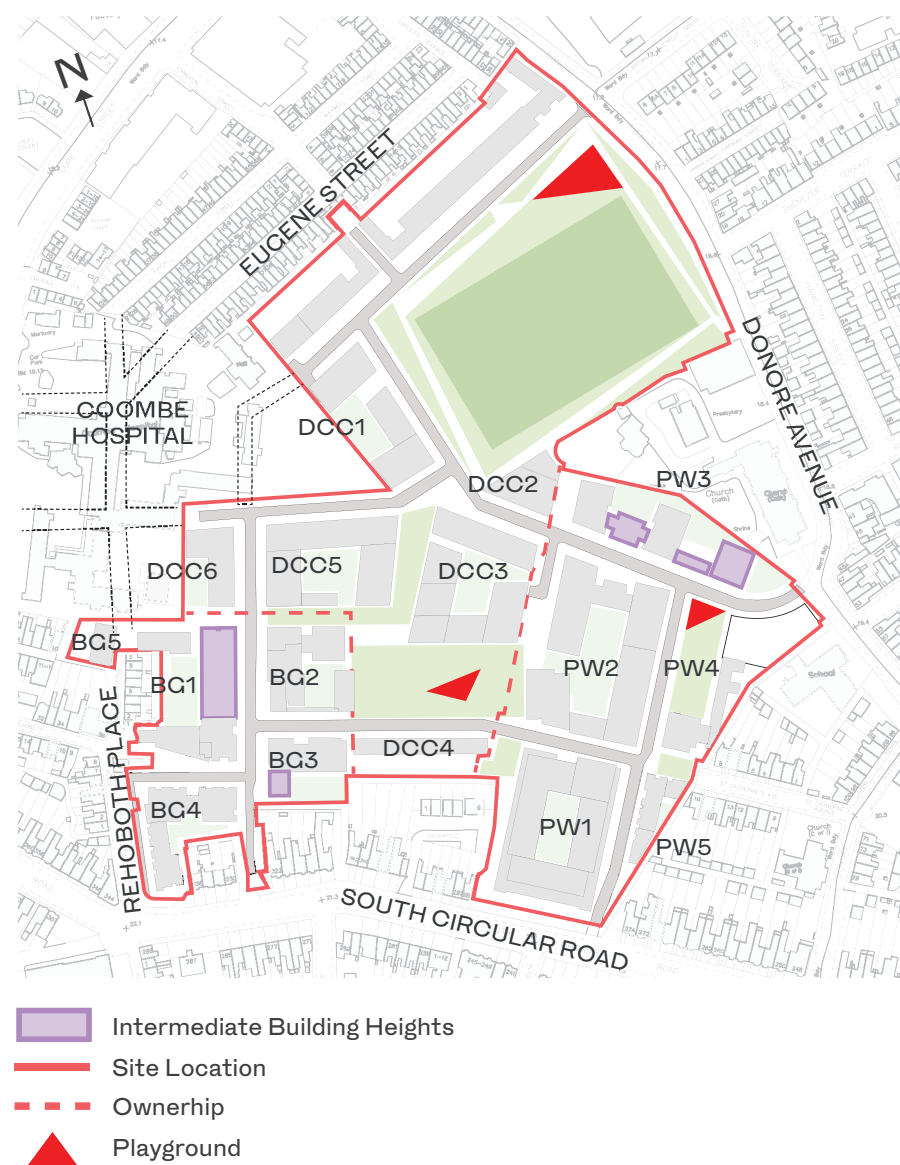
The figure below indicates the proposed 2/3 storey perimeter blocks. Placed where the SDRAs lands relate to adjoining 2 storey neighbourhood streets, these small scale blocks allow the development to knit into its surrounding neighbourhood context. From this perimeter position, they offer a degree of screening to the neighbouring streets from the taller blocks set within the Masterplan.



Perimeter Blocks (2/3 Storeys) Across DCC Lands, PW, and BG

## Intermediate Blocks

Beyond the immediate perimeter the proposed heights are limited to 2-6 storey building heights. The proposal has been assessed carefully in terms of key environmental factors such as daylight, sunlight and visual impact and adopts and progresses the SDRAs Building Height rationale in creating a sensitive and appropriate scale at the interface of the SDRAs lands with surrounding existing residential units. The figure below indicates building heights reduced from SDRAs Framework Plan.



Rationalised Building Heights Across DCC lands, PW, and BG

## Central Blocks

The increased scale is proposed centrally, where it will not materially impact upon neighbouring areas. Their positioning and orientation were given arduous study to ensure their shadow influence on the public open spaces and adjoining private open spaces is demonstrated not to have a material detrimental impact. Positioned to terminate key vistas or flank public spaces, the taller block inform the urban realm. Together with their considered skyline composition, the taller blocks contribute positively in creating a new dynamic urban landscape.



Taller Blocks and vistas across DCC lands, PW, and BG

## 4.5 Taller Blocks Design Principles

The visual impact and street-level scale of the taller blocks require careful consideration. The following set of design principles seeks to set appropriate parameters to create a comfortable 'human scale' environment at street level.

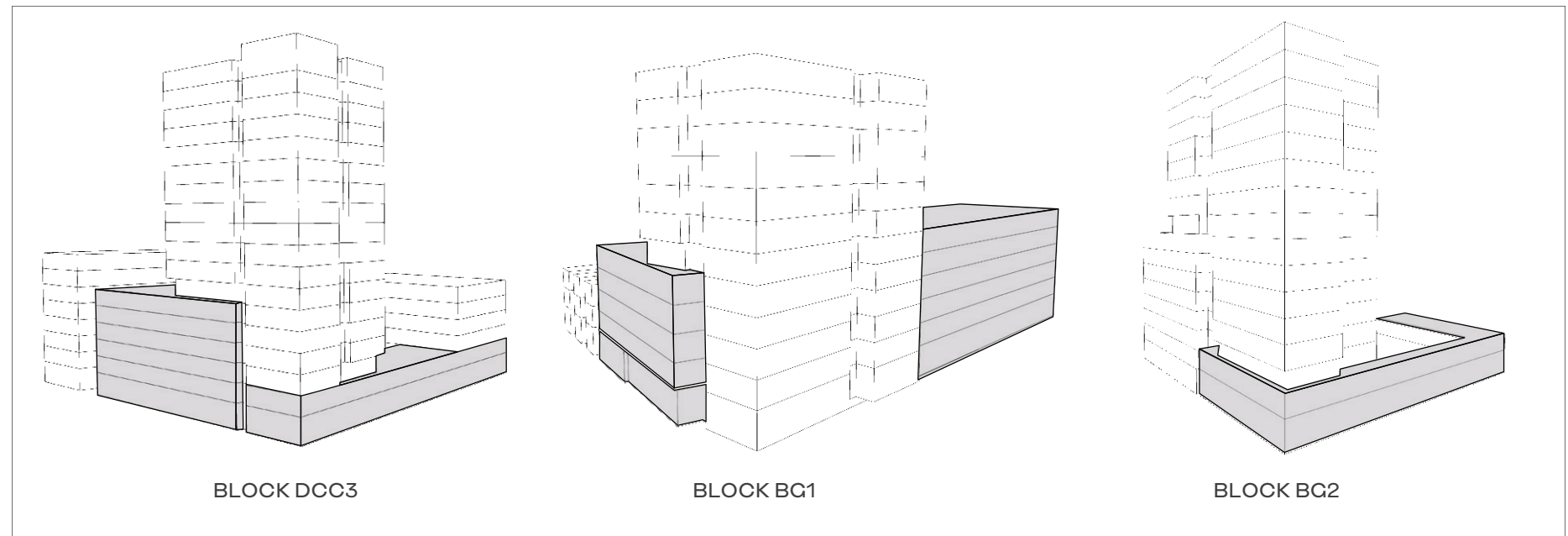
### Horizontally Interlocking Of Massing

Horizontal shoulder heights are interlocked with taller massing creating an appropriate reduced 'human scale' at street level.

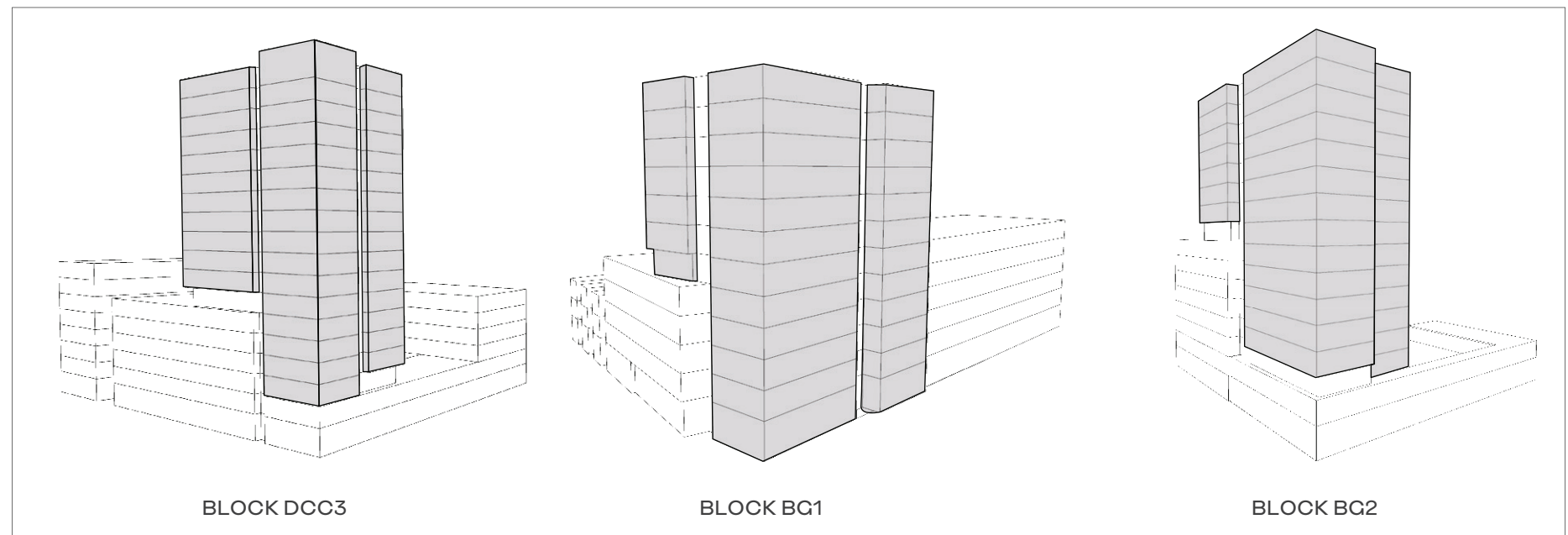
### Vertical Breakup

Taller blocks are broken vertically to achieve slender vertical proportions and variation to the skyline.

The visual impact of medium height and taller blocks requires careful consideration at street level to ensure slender vertical proportions. They are modulated by providing interlocking slender heights to break up heights vertically.



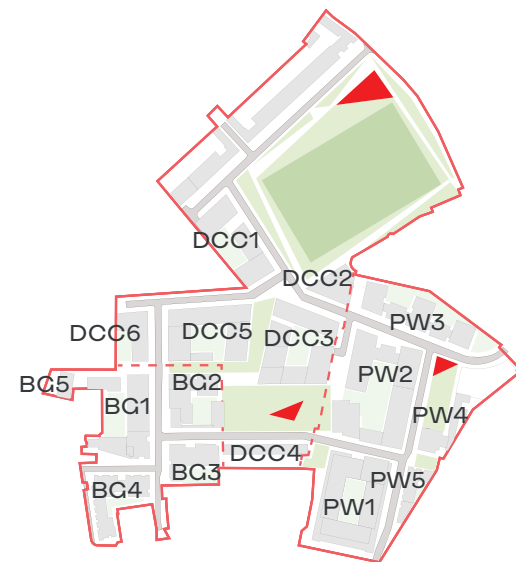
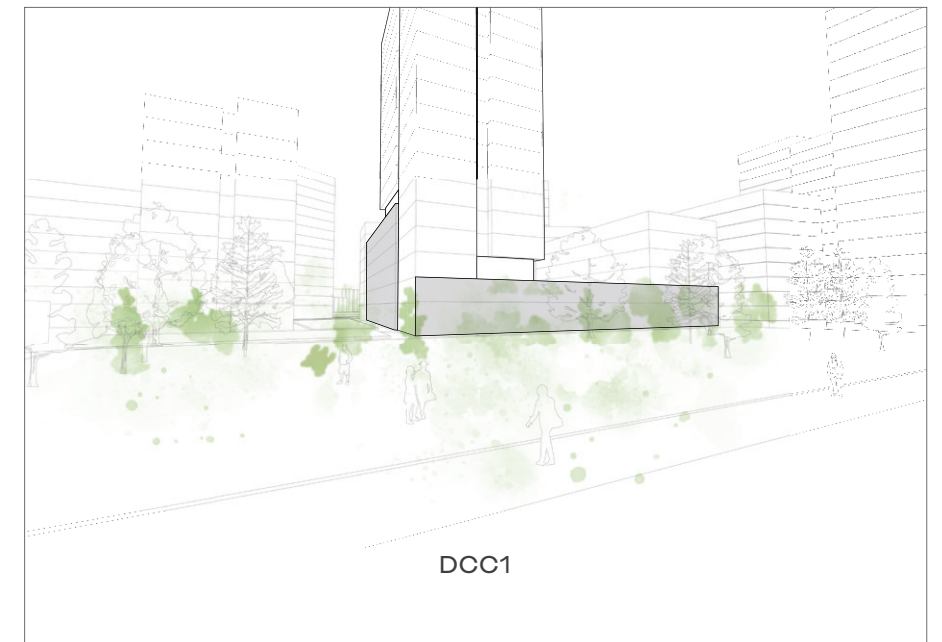
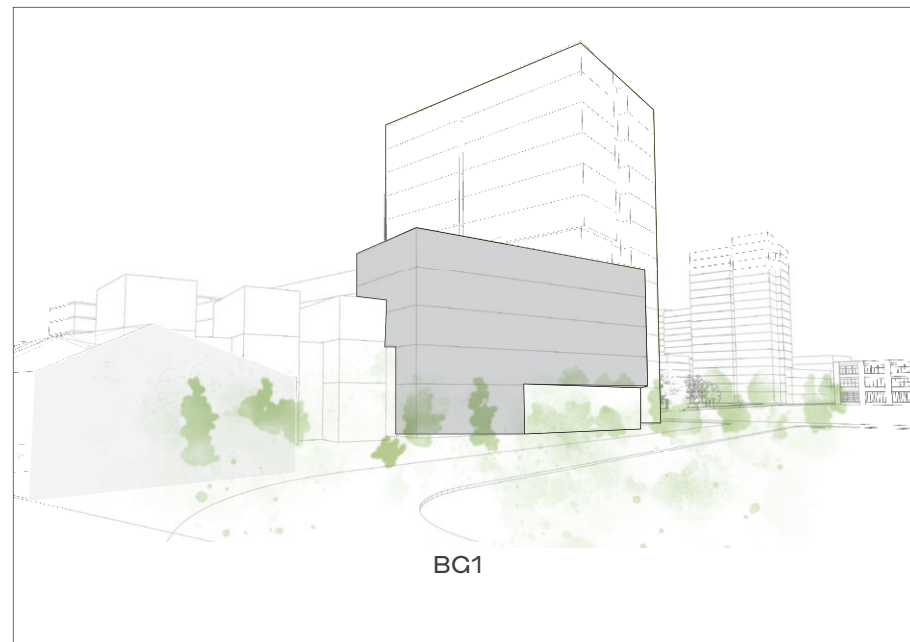
Block Massing are Broken Horizontally



Block Massing are Broken Vertically



# Streetscape



The proposed taller buildings create a new dynamic skyline for the wider Dublin 8 environment. However, at street level, a reduced human scale is required for the Masterplan to integrate into its adjoining neighbourhood. The tower and podium form is a widely accepted typology for creating comfortably scaled streetscapes mixed with increased scaled towers. The Masterplan adopts this established concept with shoulder heights interconnecting with the taller blocks, creating a reduced scale at street level. Active street façades including own door units entrances, residential lobby entrances, and café/restaurant canopies create a secondary reduced scale at street level and should be encouraged.



Artist's Impression showing the view of Block BG2 illustrating an active street façade and reduced scale at the tower base



## 4.6 Visual Impact









































































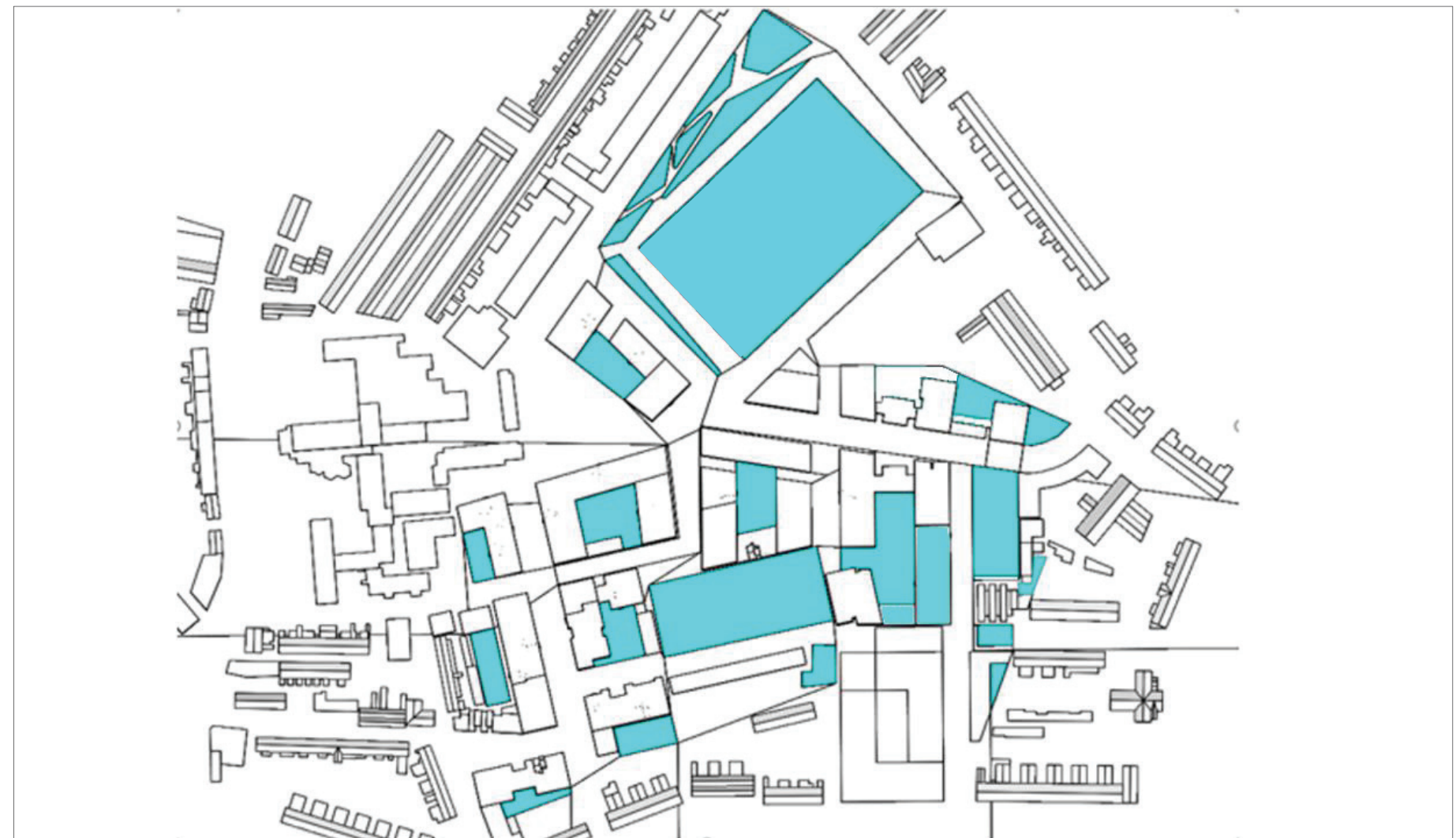




## 4.7 Overshadowing & Sunlight Access

The impact of the development proposal on the sunlight availability in public and communal amenity areas was considered to determine how the amenities perform when assessed against the BRE's 2011 guidance document Site Layout Planning for Daylight and Sunlight which states the following in Section 3.3.17:

“ 3.3.17 It is recommended that for it to appear adequately sunlit throughout the year, at least half of a garden or amenity area should receive at least two hours of sunlight on 21 March. If, as a result of new development, an existing garden or amenity area does not meet the above, and the area which can receive two hours of sun on 21 March is less than 0.8 times its former value, then the loss of sunlight is going to be noticeable. If a detailed calculation cannot be carried out, it is recommended that the centre of the area should receive at least 2 hours of sunlight on 21 March. ”

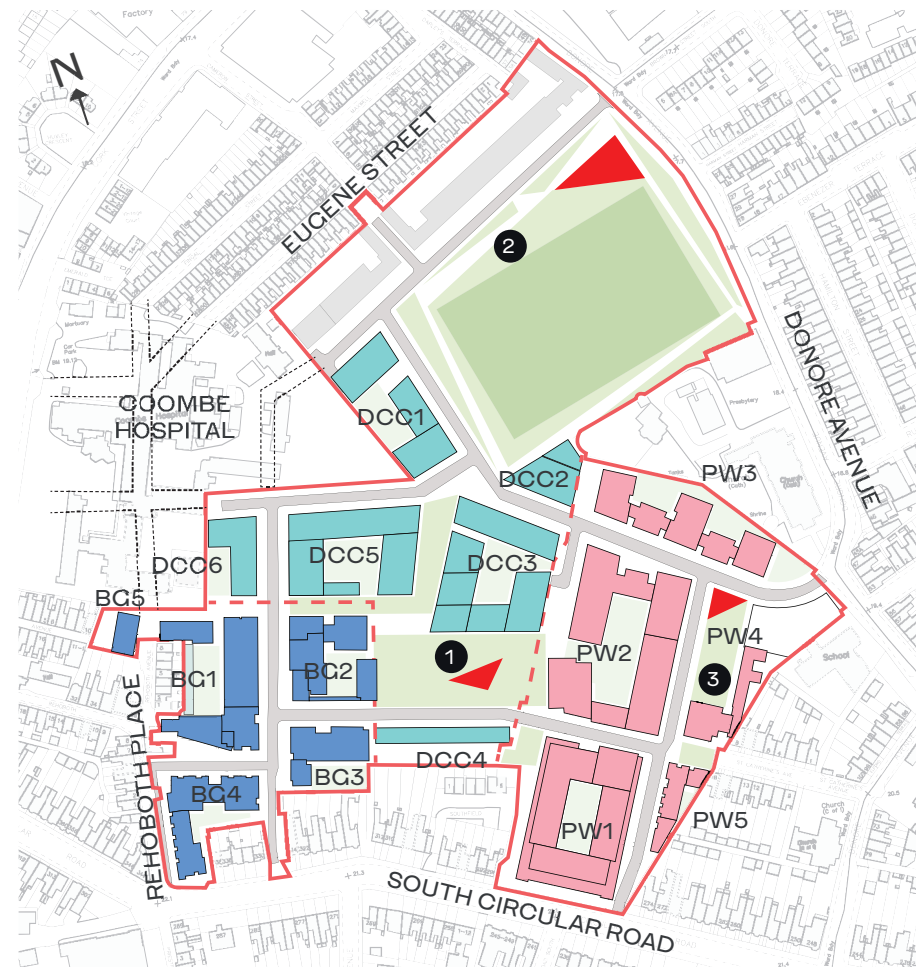


Daylight, Sunlight and Overshadowing Study conducted by IES

Public and Communal Spaces



PUBLIC SPACES



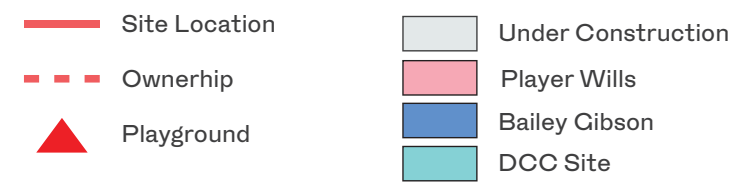
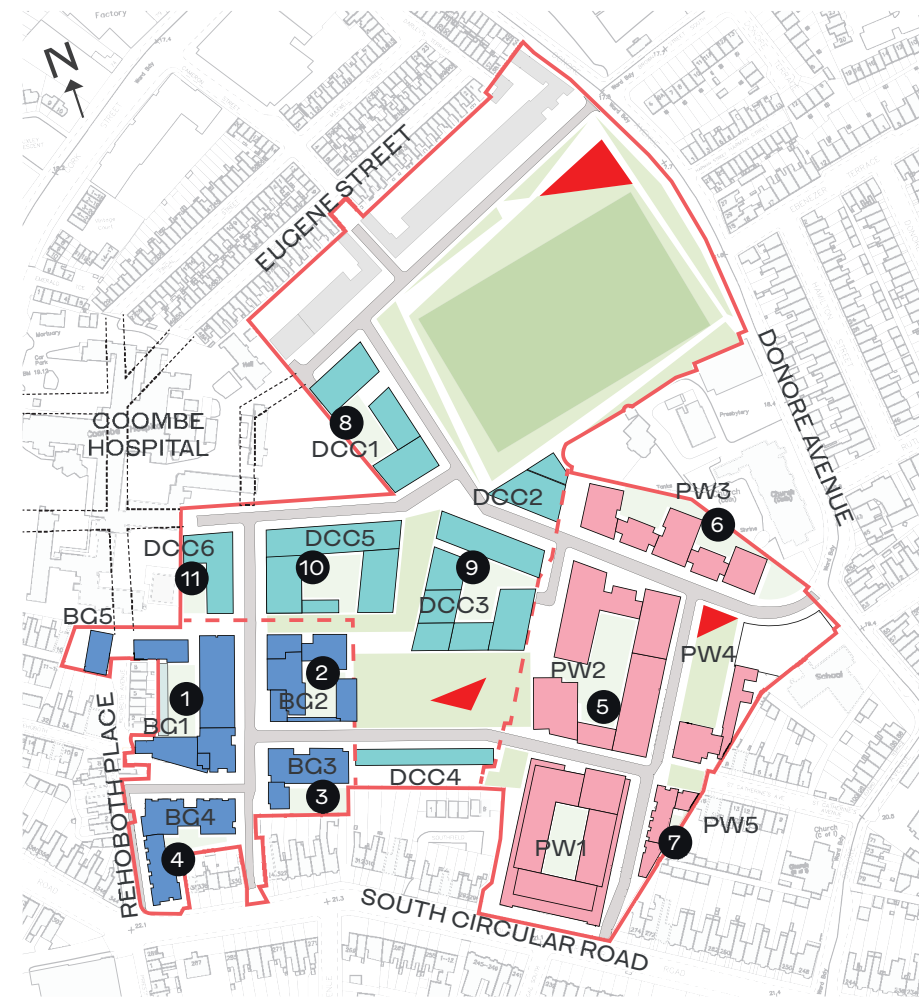
- Site Location
- - - Ownership
- ▲ Playground
- Under Construction
- Player Wills
- Bailey Gibson
- DCC Site

	Location	% >2 hours at surface level receiving sunlight on March 21 <sup>st</sup>	PASS/FAIL
1	Central Park	99	PASS
2	Municipal Playing Pitch	99	PASS
3	Local Park	90	PASS

All open spaces perform strongly when examined under the BRE Guidelines.



COURTYARDS



\*The Masterplan anticipates that on the Player Wills and Bailey Gibson sites, only PW2 will have a roof garden.

For the purposes of this sunlight assessment, only a roof terrace on PW2 has been factored in as all other blocks perform strongly surface/lower level open spaces only. Consideration will be given to roof gardens on other blocks at planning application stage subject to it being demonstrated that an appropriate level and quality of amenity can be provided at roof level.

	Location	% >2 hours at surface level receiving sunlight on March 21 <sup>st</sup>	% >2 hours at roof level receiving sunlight on March 21 <sup>st</sup>	Total % >2 hours receiving sunlight on March 21 <sup>st</sup>	PASS/FAIL
1	BC1	54		54	PASS
2	BC2	96		96	PASS
3	BC3	100		100	PASS
4	BC4	98		98	PASS
5	PW2*	50	96	70	PASS
6	PW3	65		65	PASS
7	PW5	98		98	PASS
8	DCC1	69		69	PASS
9	DCC3	83		83	PASS
10	DCC5	70		70	PASS
11	DCC6	93		93	PASS



## 4.8 Façade Materiality & Scale

### Dublin 8 Character

The surrounding context of Dublin 8 is characterized by a fine grid of small streets. The character of this area is almost entirely residential. The architecture of the surrounding context show the use of brick in both domestic and public buildings. Brick is used contextually to ornament and articulate the façade. This helped to introduce a sense of scale and depth into the elevation that defined and complimented the fenestration.

Clockwise, from top left: views from Lullymore Terrace, Player Wills, Rehoboth Place, Player Wills area, Lullymore Terrace, Cork Street.

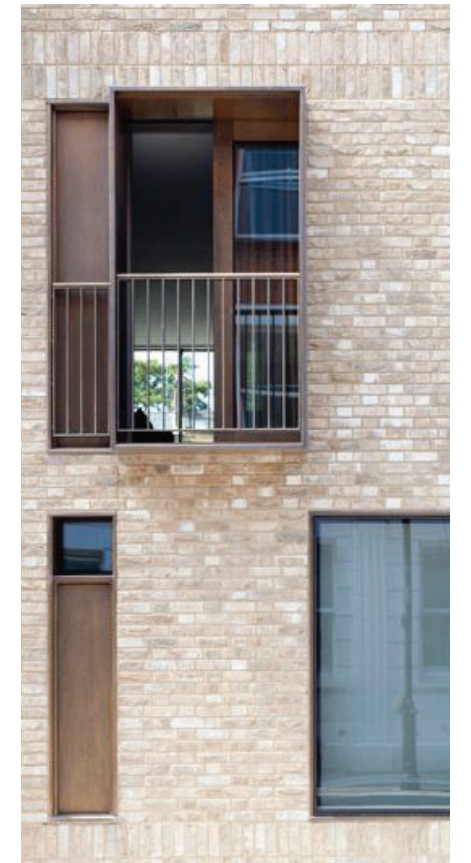
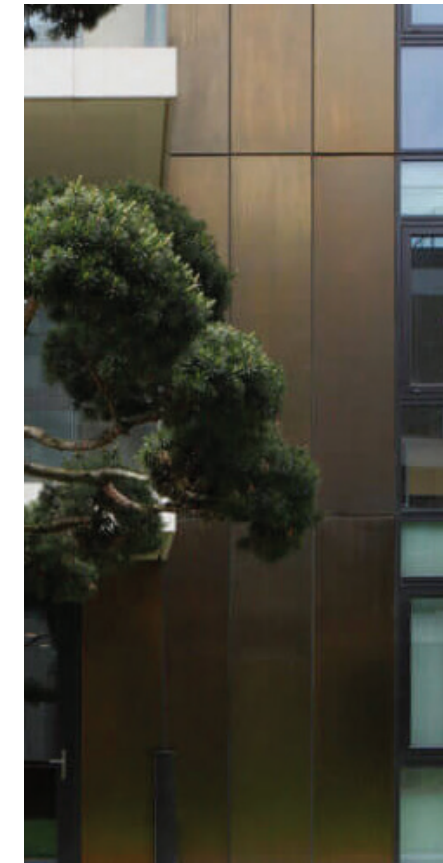
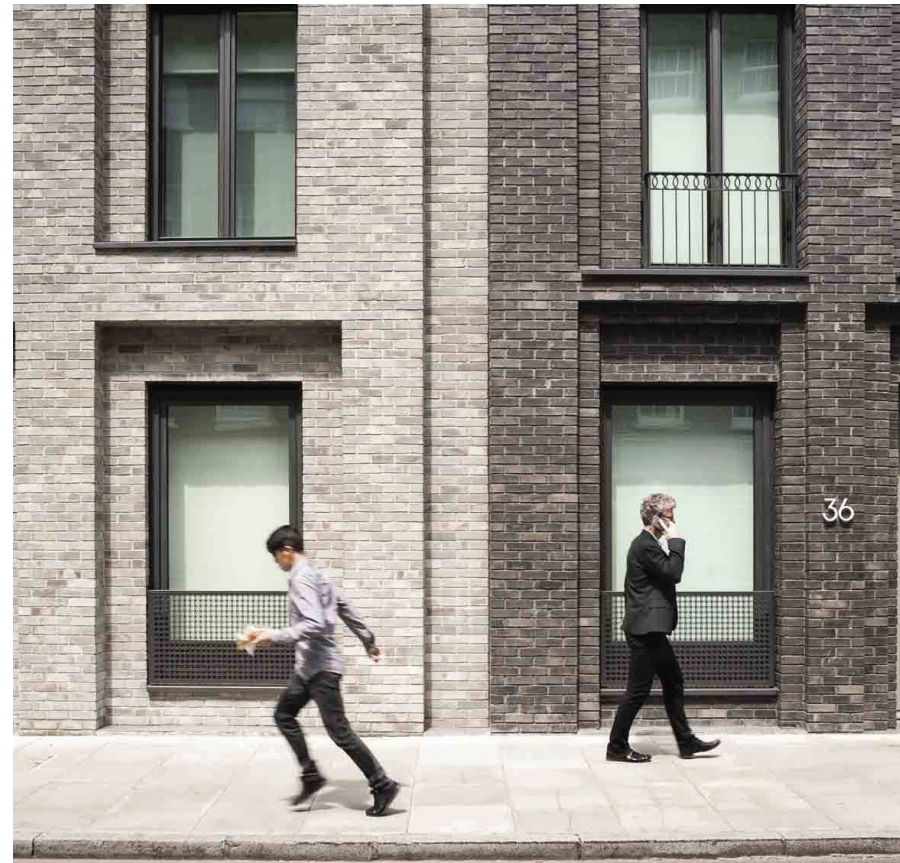




## Proposed Masterplan Materials

### Streetscape Materials

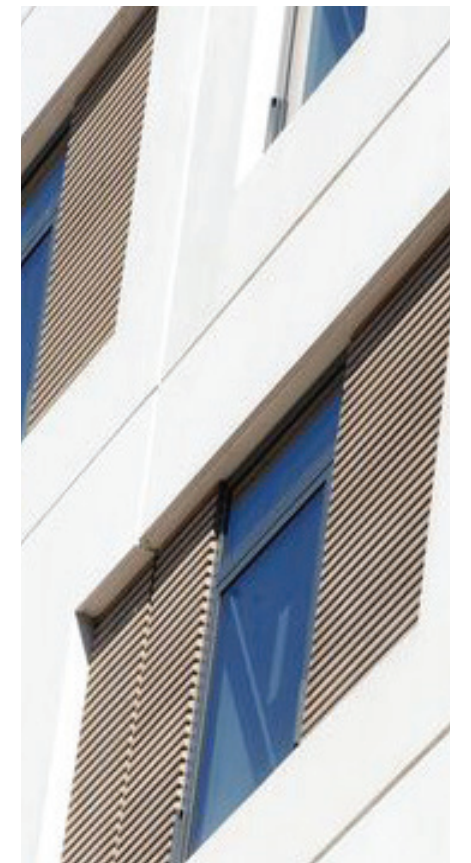
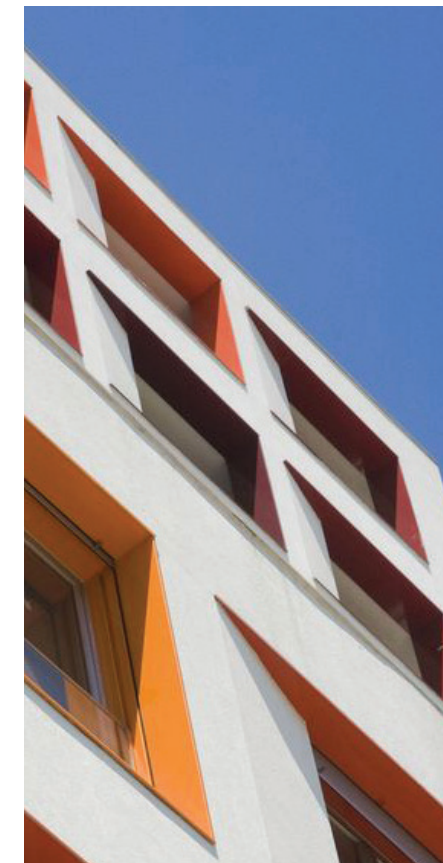
In keeping with the character of Dublin 8, external street façades should comprise primarily of a brick finish. The material is attractive, durable and requiring minimal maintenance. It is well suited to the Irish climate and ages well. The material will help the SDRA Lands integrate into its surroundings and build upon the existing brick character whilst contemporary detailing will create a distinct character. Coloured metal, stone and precast concrete cladding should be considered to add detail and colour accents.



### Courtyard Materials

A palette of quality, durable materials that reflect natural light should be considered in the courtyards. Large format glazed windows with colour accent panels to animated and provide character should be considered.

For sustainability, materials for the courtyards should be chosen which are substantially maintenance-free in order to ensure that the buildings whether well without extensive maintenance regimes.





## Façade Design

### Façade Design

New urban developments, large format glazing is often required to achieve targeted daylighting results within the apartment units. However, the reduced scale of Dublin 8, its doorways, windows, chimneys and brick detailing, needs to be appreciated and reflected through contemporary façade detailing of a similar scale.

It is considered appropriate that traditional characteristics of Dublin 8 are reflected in the detailing.

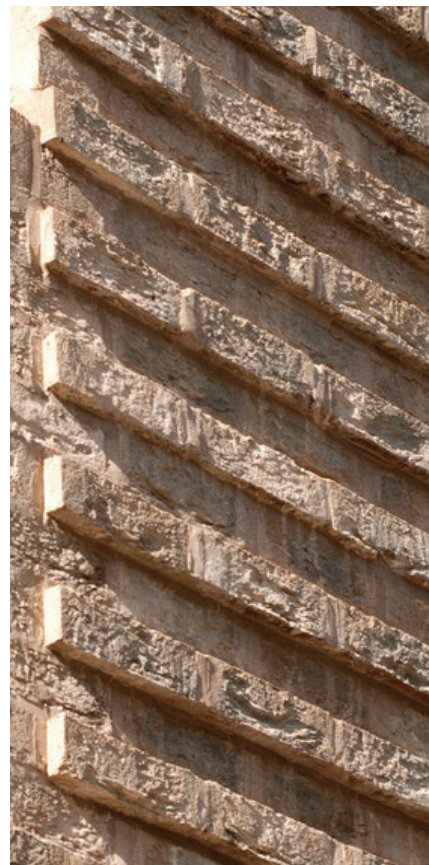
Textured brick panels, brick details such as soldier courses, contemporary window surrounds and expressed entrances should be considered to create a sense of scale through façade articulation. This articulation will help to break down the scale of the buildings and play on the domestic Dublin 8 scale.

Activate streets with expressed entrances - residential lobbies and ground floor own door apartment.

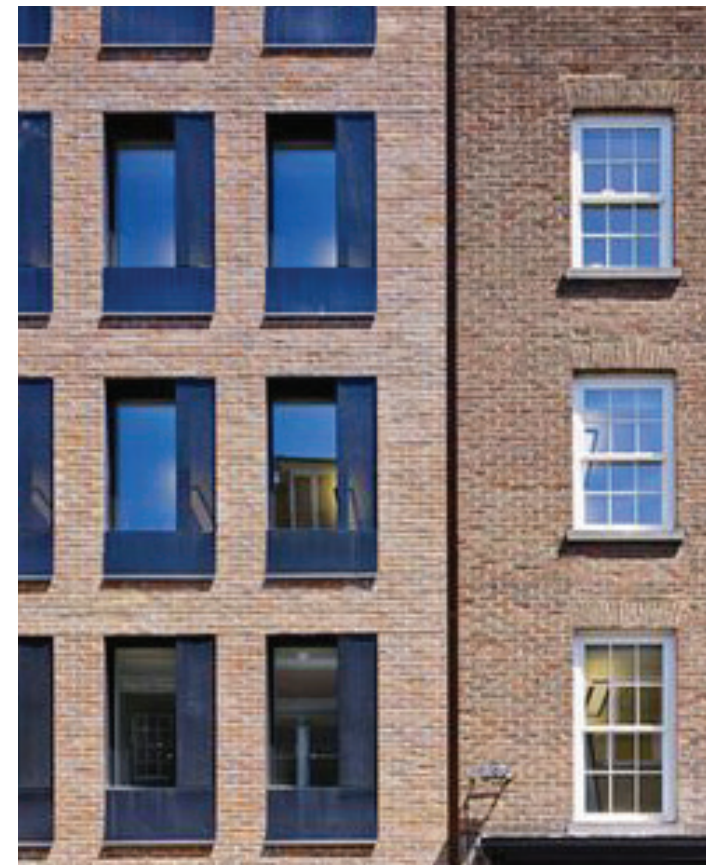
### Material References



Own-Door Access Unit



Textured Brick



Aluminium Panel accents



Horizontal material articulation



Decorative brick facade treatment in Dublin 8

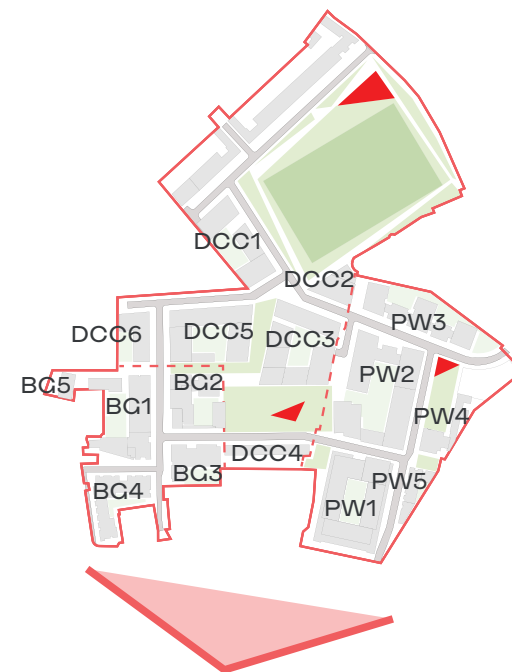


# 4.9 Projected Unit Schedule

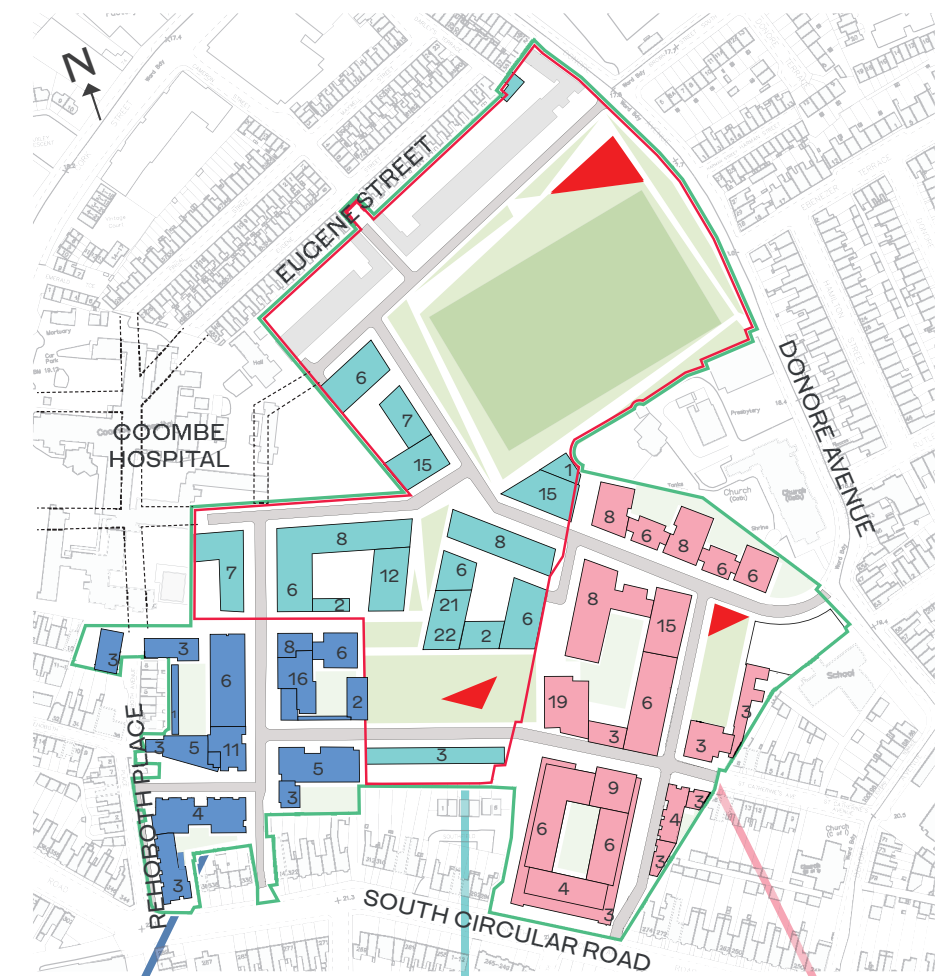


Note: Projected unit numbers for the Bailey Gibson and Player Wills sites assumes a model with unit mix approximately - 30% studio, 44% 1 Bed, 21% 2 Bed and 5% 3 Bed.

DCC lands assumes a model with development plan compliant unit mix.



PROPOSED



- Site Location
- - - Ownership
- ▲ Playground
- Under Construction



## 4.10 Access Strategy & Street Hierarchy

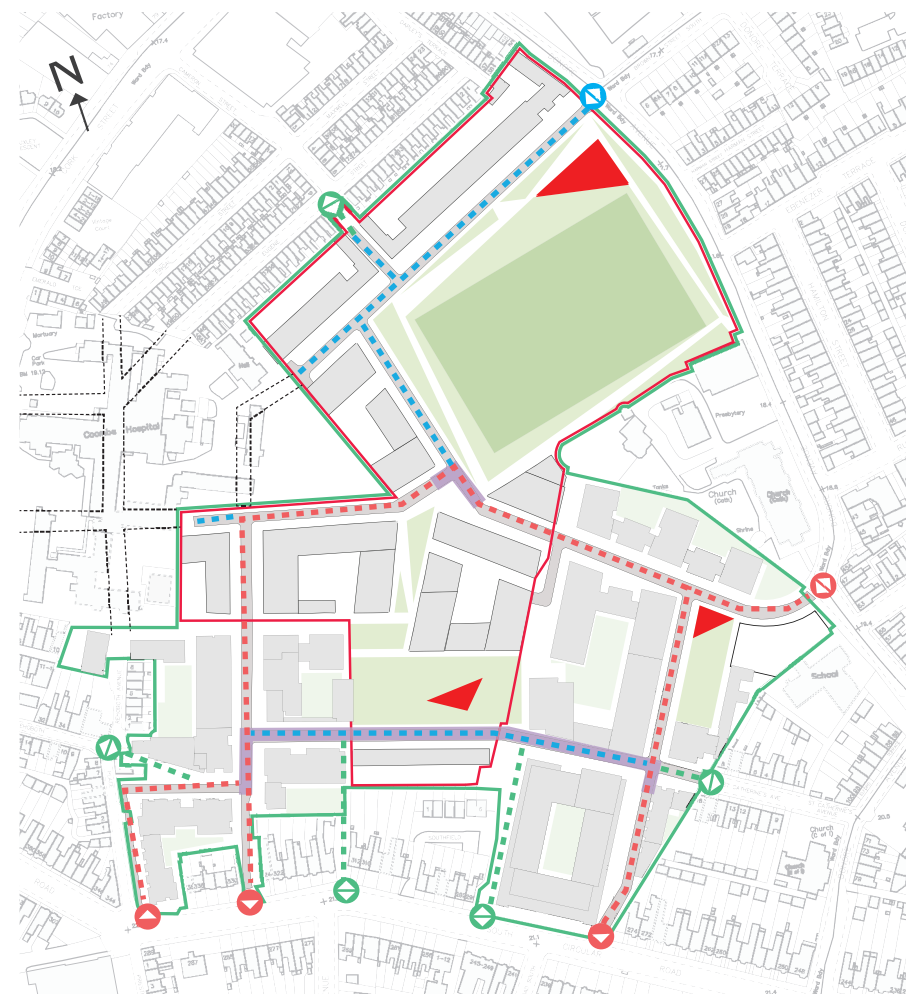
It is forecast that over three quarters of trips from the masterplan site will be made by sustainable modes, i.e. walking, cycling and public transport. The aim of the proposed access strategy is the creation of a connected, permeable, walkable and cycleable network which facilitates this high demand for sustainable modes.











The proposed strategy will encourage and facilitate the sustainable and safe movement of people whilst maintaining multi-purpose streets with a strong sense of place. It considers the ease of movement for all modes, including cars, adopting a balanced approach which reflects the higher demand for walking and cycling outlined above. The strategy is in line with the principles set out in the Design Manual for Urban Roads and Streets (DMURS). The internal road network have been designed to encourage lower speeds (30kph or less). These lower speeds will create an environment conducive to on-street cycling and will discourage rat running through the site, though filtered permeability will also be considered should rat running prove to be an issue.

The primary vehicular access points for vehicular traffic will be located along the South Circular Road with another primary access point on Donore Avenue. The majority of traffic leaving the development in the morning peak will travel south and westwards using the South Circular Road access points. Thus the Donore Avenue primary access will be lightly trafficked during the school set down period. This access point will primarily be used for returning traffic in the evening peak after school hours. The existing road and footpaths through Rehoboth Place will be widened to accommodate a primary entry point to the development.

Pedestrians and cyclists will be accommodated at all primary and secondary access points but can also access the development through several dedicated ped/cycle only access points off the South Circular Road, St. Catherine's Avenue & Cameron Street. By providing these additional links the strategy seeks to provide permeability through the centre of the masterplan lands for pedestrians and cyclists, whereas the vehicular traffic movements are primarily focused on the boundaries. This reduces conflicts and creates a safe/calmed environment conducive to walking and cycling. These ped/cycle only accesses will be linked by a proposed shared surface running east/west through the site south of the park, providing strong connectivity

for pedestrians and cyclists from Donore Avenue to Dolphin's Barn Street. There will also be pedestrian priority/shared surface provided to the south of the pitch. This will allow the free movement of pedestrians north and south linking the pitch with the park. This permeability will benefit future residents but also existing residents of the wider neighbourhood.



-    Primary Vehicular Access Points
-  Primary Vehicular Routes
-  Secondary Vehicular Access Points
-  Secondary Vehicular Routes
-  Ped/Cyclcy Only Access Points
-  Ped/Cyclcy Only Routes
-  Playground
-  Shared Surface/Pedestrian Priority



## 4.11 Illustrative Landscape Masterplan

The landscape masterplan has been designed bring the area together in a coherent and functional manner, yet with well designed and aesthetically appealing landscape elements.

Several design principles have been established to guide the overall approach including the need to respond to authenticity and life on the street and integrating the existing context and community. The development should be designed to enhance and not supersede the site's existing cultural attributes and populations, and provide opportunities for interaction between the new residents and existing local community.

Bearing both the site's primary function in mind and aspirations to enhance an existing space with enjoyable and aesthetically pleasing landscape, numerous opportunities have been identified including high quality planting, integration of roof gardens, and SUDS systems.

A core principal of the landscape plan is to deliver on the objectives of the City Development Plan, specially in terms of Sustainable Environmental Infrastructure with the use of Natural Water Retention Measures as part of a wider surface water management strategy.

All landscape proposals are illustrative and are subject to detailed design at planning application stage





## 4.12 Open Space Hierarchy

While designing livable areas for a new community and surrounding residents, space considerations are important. These help guide functionality but also contribute to fostering sense of communal living and wellbeing. Different sized spaces have different catchment areas, and consequently different functions.

In this regard, a range of scales of spaces will be important to address the needs of the new community and surrounding residents, and provide an opportunity to enhance residents positive experience of the various designed spaces.







## District Open Space

**Target**  
Local residents and visitors

District open spaces in the development act as the main focal points for social gathering and recreation within the community. They also provide opportunities to attract visitors and play an important role in fostering community culture and wellbeing. These unifying community landscape typologies are hence located centrally. District open spaces are provided to target different demographic profiles and include facilities such as skate parks, formalised sports fields, public event spaces, regional junior and toddler playgrounds and environmental interpretation. These parks will service residents as well as provide attractions for visitors.

### Programme:

- Formal sports fields and games courts
- Informal kick-about spaces
- Public event spaces
- Gathering spaces
- Meeting places
- Areas for rest and respite
- Farmer's markets
- Informative and educational
- Picnic areas
- Jogging and exercise
- Environmental interpretation
- Bird watching
- Fishing
- Watersports
- Lookouts
- Public art installations

### Infrastructure:

- Municipal playing pitch facilities
- Public amenities
- BBQ facilities
- Public toilets
- Pedestrian routes
- Boardwalk
- Playground facilities
- Recreational hardcourt
- Shade structures
- Seating areas
- Drinking fountains
- Bike racks
- Recycling bins
- Directional signage
- Interpretive signage
- Boat launch
- Skate park
- Landscape lighting
- Integrated stormwater



## Neighbourhood Open Space

**Target**  
Local residents and visitors

Neighbourhood open spaces within the Community acts as the main social gathering and recreational focal points associated with the community centres, including facilities such as mosques, open grassed areas for informal sports and recreation, public event spaces and environmental interpretation. These parks will service residents as well as provide attractions for visitors.

### Programme:

- Meeting places
- Kick-about areas
- Soft surface games areas
- Areas for rest and respite
- Recreational cycling
- Picnic areas
- Jogging and exercise
- Environmental interpretation
- Gardening
- Bird watching
- Lookouts
- Public art installations

### Infrastructure:

- Pedestrian routes
- Pedestrian underpasses
- Playground facilities
- Recreational hardcourt
- Shade structures
- Community gardens
- Seating areas
- Bike racks
- Recycling bins
- Directional signage
- Interpretive signage
- Landscape lighting
- Integrated stormwater



## Local Open Space

**Target**  
Local residents

Similar in function to neighbourhood open space, these areas typically have a less intensive level of development given smaller catchments, incorporating small pocket parks, squares and playgrounds. These spaces are designed for the local residents.

### Programme:

- Gathering spaces
- Meeting places
- Kick-about areas
- Hard court games areas
- Soft court games areas
- Areas for rest and respite

### Infrastructure:

- Pedestrian routes
- Playground facilities
- Fitness equipment
- Shade structures
- Seating areas
- Recycling bins
- Directional signage
- On-street parking
- Landscape lighting
- Integrated stormwater



## Private Amenity Space

**Target**  
Local residents

### Programme:

- Balconies
- Ground floor terraces
- Defensible space
- Allotments
- Terraces
- Front Gardens



## 4.13 Open Space Quantum

### DCC BLOCK 01

Requirement	1104 m <sup>2</sup>
Courtyard	850 m <sup>2</sup>
Roof Terrace	254 m <sup>2</sup>

Courtyard Roof Terrace

**77%** **23%**

### DCC BLOCK 05

Requirement	1357 m <sup>2</sup>
Courtyard	909 m <sup>2</sup>
Roof Terrace	448 m <sup>2</sup>

Courtyard Roof Terrace

**67%** **33%**

### DCC BLOCK 06

Requirement	393 m <sup>2</sup>
Courtyard	492 m <sup>2</sup>
Roof Terrace	0 m <sup>2</sup>

Courtyard

**100%**

### DCC BLOCK 02

Requirement	669 m <sup>2</sup>
Courtyard	0 m <sup>2</sup>
Roof Terrace	669 m <sup>2</sup>

Roof Terrace

**100%**

### DCC BLOCK 03

Requirement	1794 m <sup>2</sup>
Courtyard	1127 m <sup>2</sup>
Roof Terrace	667 m <sup>2</sup>

Courtyard Roof Terrace

**63%** **37%**

### DCC BLOCK 04

Requirement	292 m <sup>2</sup>
Courtyard	883 m <sup>2</sup>
Roof Terrace	0 m <sup>2</sup>

Courtyard

**100%**



Private open space requirement DCC



**BLOCK BG1**  
 Open Space Requirement 853 m<sup>2</sup>  
 Measured Courtyard Area: 886 m<sup>2</sup>  
 Roof Terrace: 0 m<sup>2</sup>  
 Total: 886m<sup>2</sup>

**BLOCK BG2**  
 Open Space Requirement (courtyard) 876 m<sup>2</sup>  
 Measured Courtyard Area: 876 m<sup>2</sup>  
 Roof Terrace: 0 m<sup>2</sup>  
 Total: 876 m<sup>2</sup>

**BLOCK BG3**  
 Open Space Requirement 289 m<sup>2</sup>  
 Measured Courtyard Area: 542m<sup>2</sup>  
 Roof Terrace: 0 m<sup>2</sup>  
 Total: 542 m<sup>2</sup>

**BLOCK BG4**  
 Open Space Requirement 313 m<sup>2</sup>  
 Measured Courtyard Area: 317 m<sup>2</sup>  
 Roof Terrace: 0 m<sup>2</sup>  
 Total: 317 m<sup>2</sup>



**BLOCK PW3**  
 Open Space Requirement 750 m<sup>2</sup>  
 Measured Courtyard Area: 1230 m<sup>2</sup>  
 Roof Terrace: 0 m<sup>2</sup>  
 Total: 1230 m<sup>2</sup>

**BLOCK PW2**  
 Open Space Requirement 2524 m<sup>2</sup>  
 Measured Courtyard Area: 1430 m<sup>2</sup>  
 Roof Terrace: 1100 m<sup>2</sup>  
 Total: 2530 m<sup>2</sup>

**BLOCK PW4**  
 Open Space Requirement 89 m<sup>2</sup>  
 Measured Courtyard Area: 97 m<sup>2</sup>  
 Roof Terrace: 0 m<sup>2</sup>  
 Total: 97 m<sup>2</sup>

**BLOCK PW5**  
 Open Space Requirement 97 m<sup>2</sup>  
 Measured Courtyard Area: 112 m<sup>2</sup>  
 Roof Terrace: 0 m<sup>2</sup>  
 Total: 112 m<sup>2</sup>

**BLOCK PW1**  
 Open Space Requirement - m<sup>2</sup>  
 Measured Courtyard Area: - m<sup>2</sup>  
 Roof Terrace - m<sup>2</sup>  
 Total - m<sup>2</sup>

Private open space requirement BG - PW



## 4.14 Landscape Infrastructure Diagrams

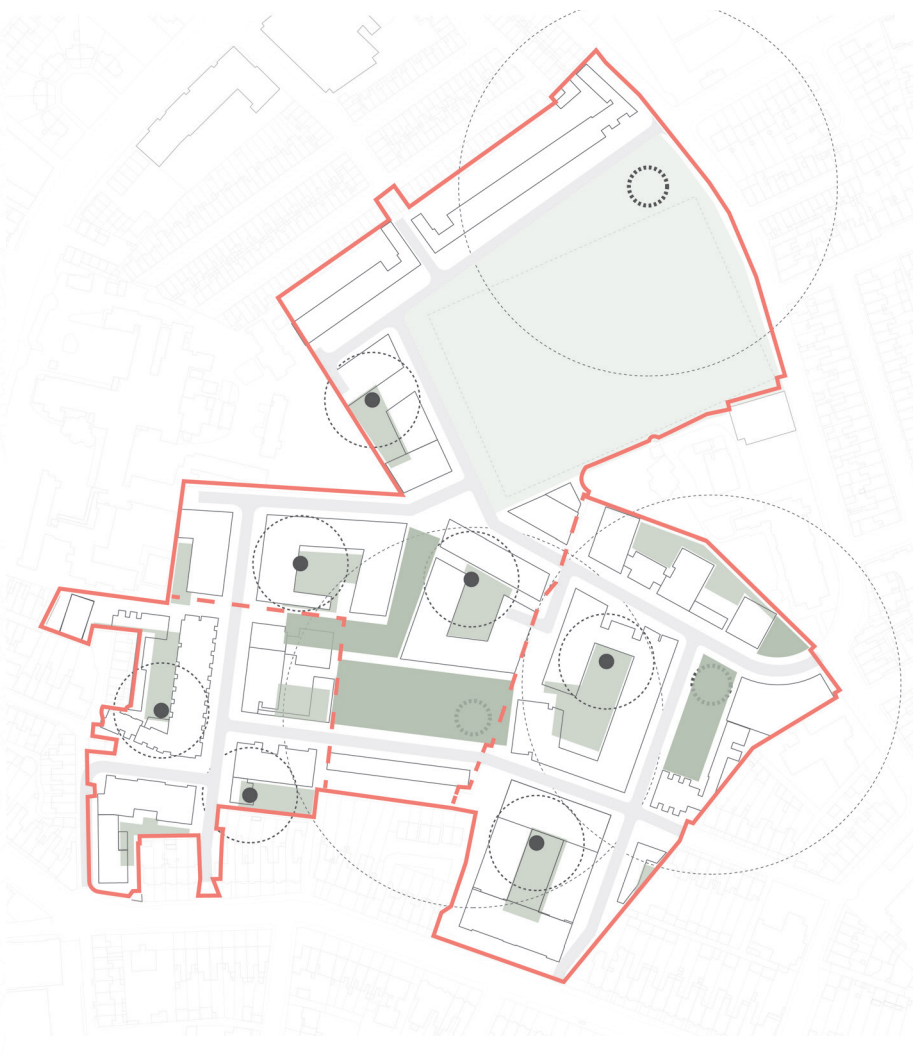
### Street Character



The street network has been designed to serve the community in terms of ease to navigate and get to destination, and effective connectivity by means of transportation. Physical space and carefully designed street networks can also play a determining role in ensuring a safe environment for the residents, and sense of safety, an important factor in residents' wellbeing.

- Primary Streets
- Shared Surface Junction / Pedestrian Priority
- Shared Surfaces/Homezone

### Play areas



Play spaces are important elements of the development as they provide opportunity for social gathering and interaction for the residents and their families. As such, they have been distributed throughout the site to ensure all residents have walkable access to a play area. Some play areas are informal while some have an extensive array of equipment provided.

- Informal Playground
- Playground
- 25m walking distance from playground
- 100m walking distance from playground

MASTERPLAN

### Bike Parking



Dublin city, like many of its European and global counterparts, is transitioning from a car-orientated transport society to a more pedestrian and cyclist-friendly environment. The masterplan for the Player Wills, Bailey Gibson & DCC lands reflects this progression with cycle parking distributed throughout the public realm, in addition to below ground bike parking in the basements.

### Bike Parking

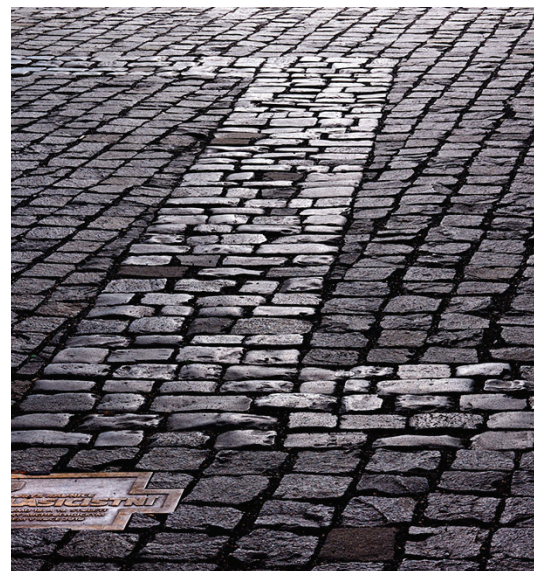
- Bailey Gibson Bike Park Spaces: 84
- Player Wills Bike Park Spaces: 182
- Player Wills Bike Park Spaces: 120
- Total Bike Park Spaces: 386



## 4.15 Landscape Principles

### Authenticity

The site benefits from rich architectural surroundings, which have inspired the development's design. In pursuit for authenticity, careful attention has been paid to the selection of the same or similar materials and patterns to assimilate the new space to its historic context and ensure the design concept tells the story of the site's history and subsequent harmonious evolution.



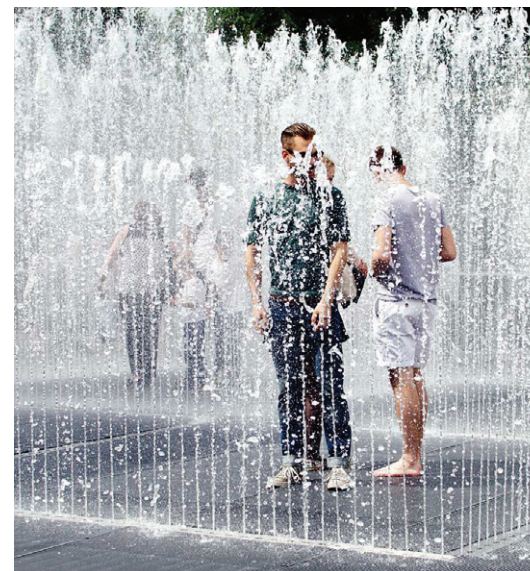
### Life on the Street

Key to the design of any public space, is the fostering of conditions that encourage people to spend practical and leisure time and occupy said space. Street life can be animated through the introduction of physical structures such as streets opening into plazas, street furniture and structures, and food and beverage zones. These create ideal social spaces to activate the streets and attract people to spend time in these public spaces.



### Playfulness

Spaces are created in a way as to invite visitors to fully engage and interact with their surroundings. Many interacting structures and landforms are to be located throughout the area, such as for example the dry fountain plaza.



### Biodiversity

Biodiversity is a key tenet of the landscape design and is reflected in the planting of a great variety of trees and shrub species. Plants used throughout the site are mostly native, both deciduous and evergreen to ensure an attractive landscape all year round. Planting will be introduced on many levels of the site including roof gardens and higher floors courtyards, developing into sumptuous multi-levelled landscape.



### Green Infrastructure

Sustainable Environmental Green Infrastructure of the site consists of semi private and public areas, the tree pits and green roofs.

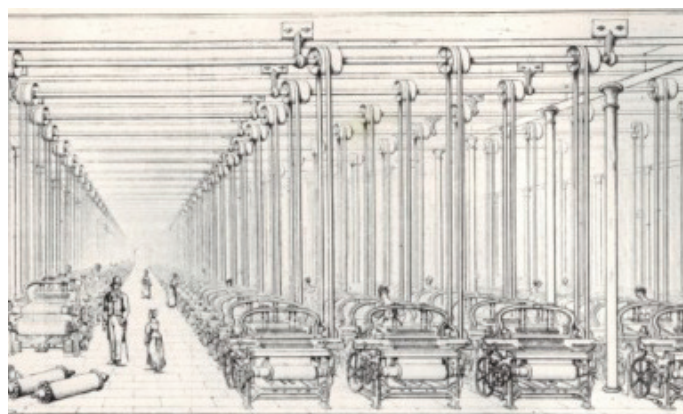
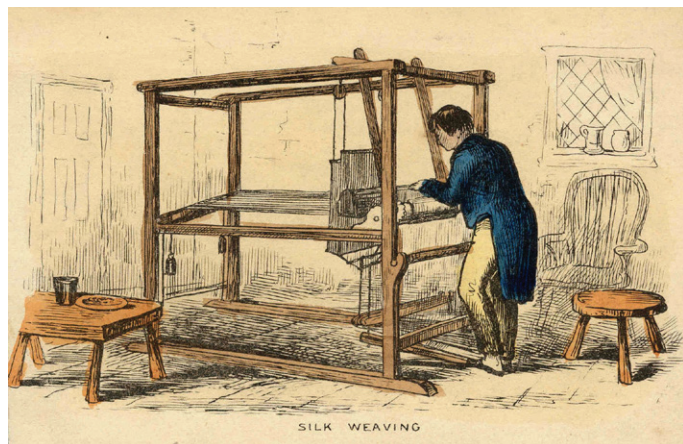




## 4.16 Landscape Concept and Inspiration

The landscape concept design, "Spinning the Tale", has been devised to reflect the area's history. In 1685, many Huguenots settled in the Liberties area of Dublin brought with them the skills and culture of their native France. The site sits adjacent to the current liberties area boundary but would historically would have formed part of the Donore Liberty of Dublin.

Renowned for their weaving abilities, the industry thrived following the Huguenot arrival and they became an intrinsic part of the diverse social tapestry of the area in the late seventeenth and eighteenth centuries. It was a Huguenot, David Digges La Touche, who financed the building of a new weavers' hall in the Lower Coombe area in 1745. The tobacco industry also benefited from the incoming skilled labour force and at the time became a key employer in the locality. By applying the weaving metaphor to the design of the sites' spaces, we can create a sense of unity throughout the public realm. The weaving theme can have many different manifestations depending on the requirements of the space. Overall the goal is to achieve a harmonious balance through two counterpoints of orthogonal grid and organic thread-like lines.



### Spinning a tale

The Huguenots + a cultural of craft + industry, authenticity + cultural relevance



Fig. 4.18.1: Thread: A Single Strand Drawing Together A Number Of Spaces

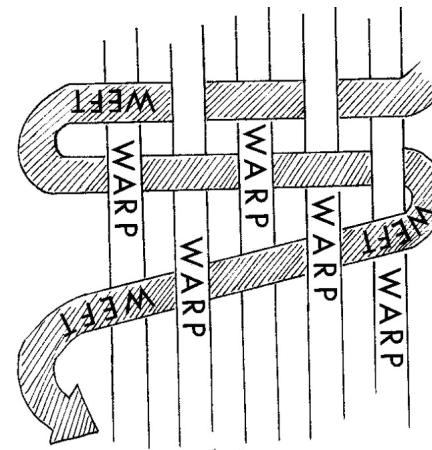


Fig. 4.18.2: Unifying The Fabric Of Space As One Cohesive Design Approach

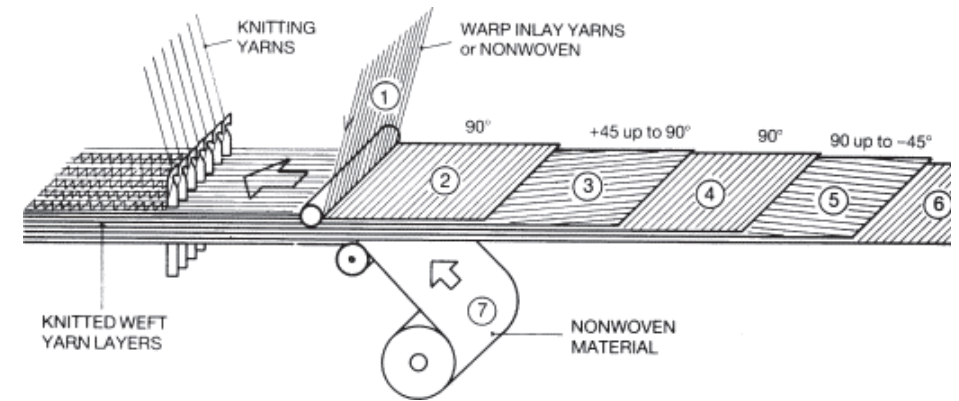
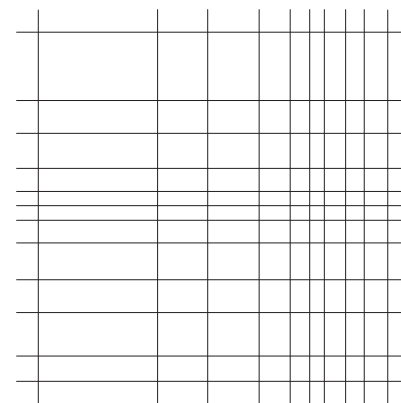
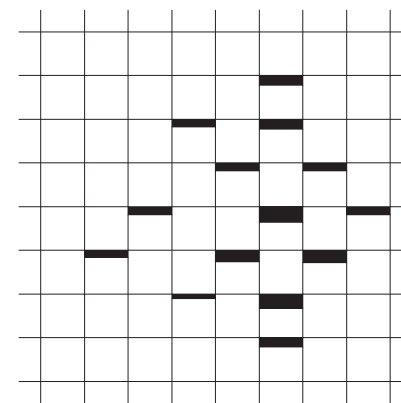


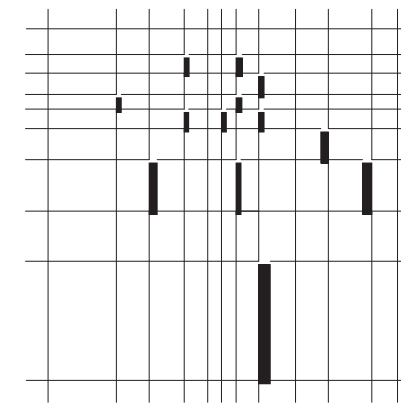
Fig. 4.18.3: A Three Dimensional Landscape, Layered In A Dynamic Way To Replicate The Movement Of The Loom



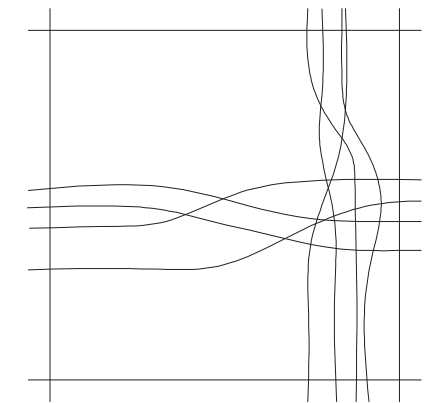
City Grid



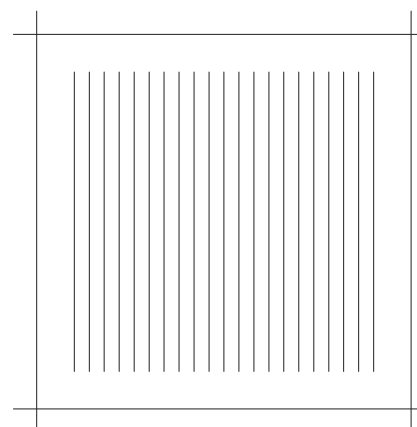
Landscape



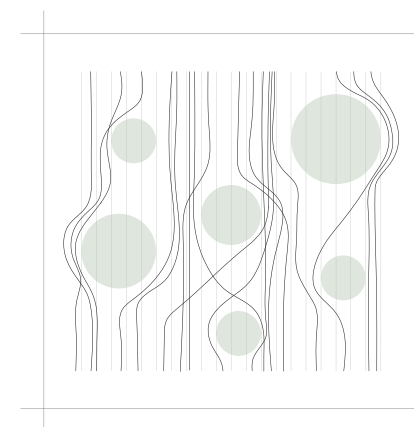
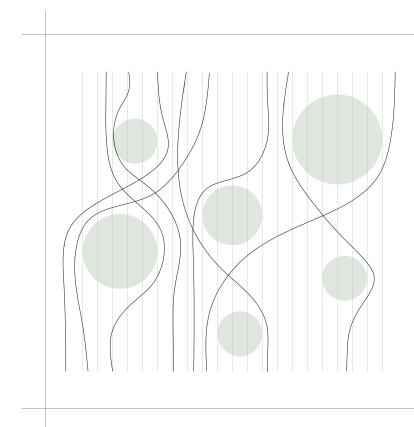
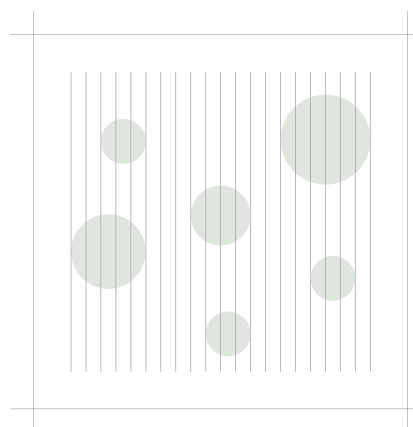
Weave



Integrate



MASTERPLAN





## 4.17 Key Open Spaces

The Masterplan's key open spaces are described in the following pages. These aim to convey the quality of the Masterplan's design when it comes to public open spaces.



Courtyards



Central Square



Multi-sport Pitch



Playground



## 4.18 Central Square Concept

As described above, the landscape concept design, "Spinning the Tale", has been devised to reflect the area's history and Huguenot legacy. This concept is applied to the central square where we create a "Warp" and a "Weft" weaving pattern to delineate the paving and planting layers of the space. This weaving theme is further applied to the vertical elements within the space: the canopies, trees and lighting elements.

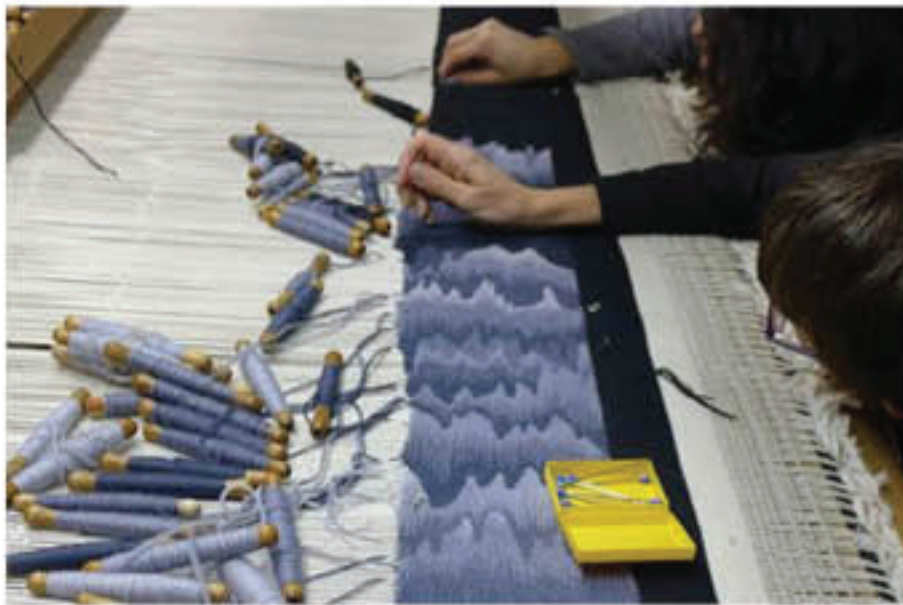


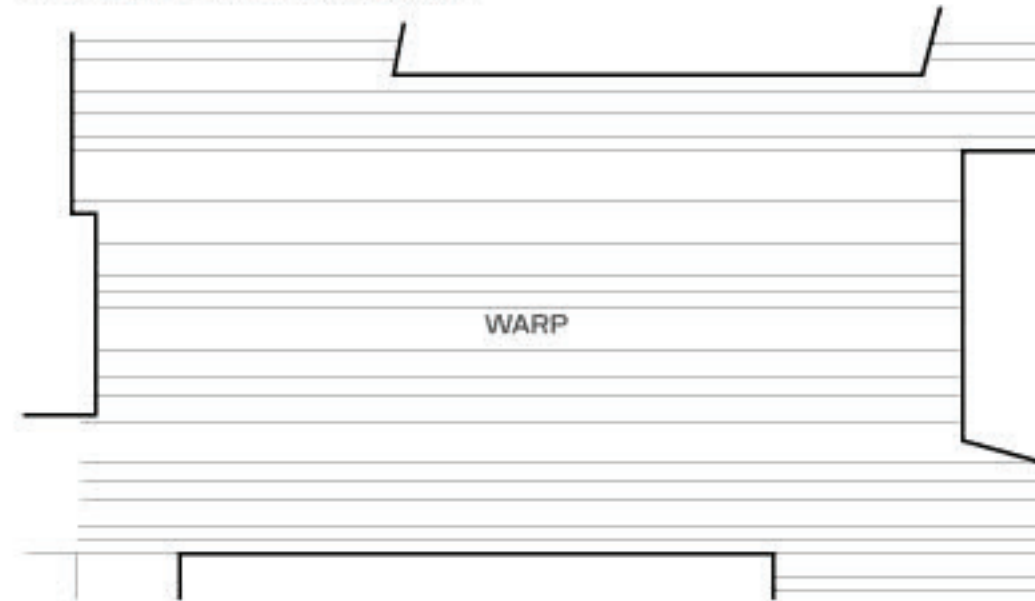
Fig. 4.20.1: Weaving the fabric



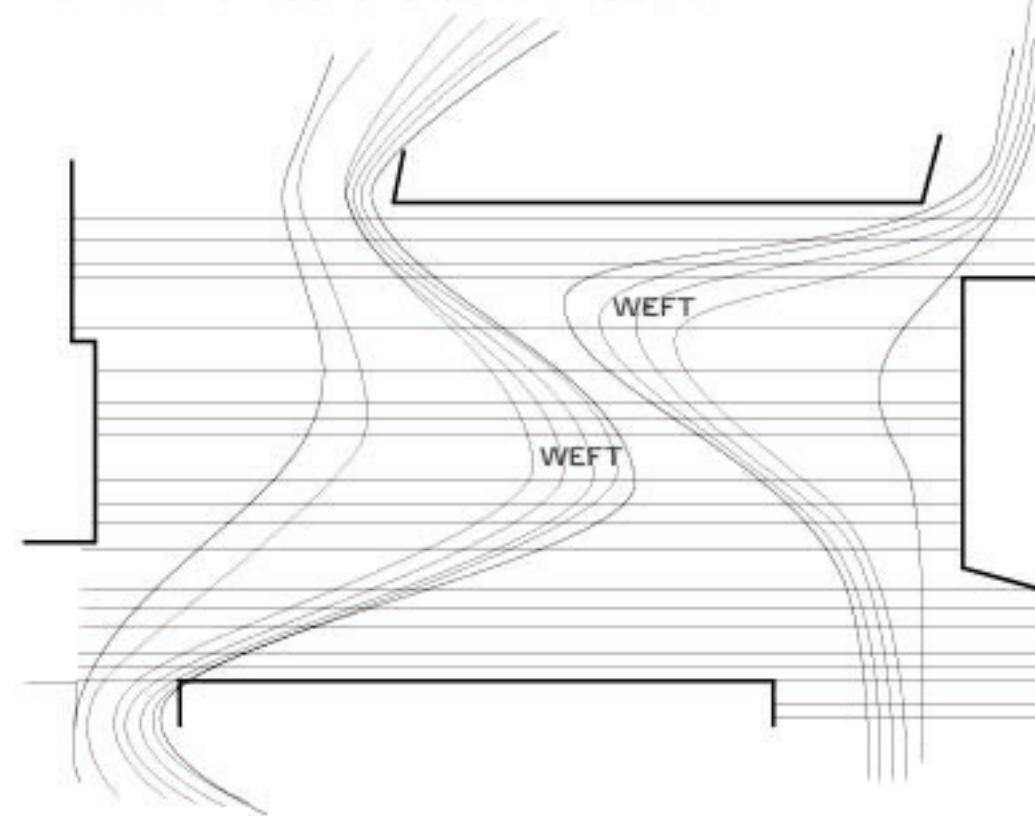
Fig. 4.20.2: Linear warps

### Applying concept to central square design

#### A LINEAR FLEXIBLE GRID LAYOUT



#### MANIPULATING THE GRID TO WEAVING IN LAYERS





## 4.19 Playgrounds

Playfulness is a central theme to the landscape design. Consequently, much of public realm is given over to informal play areas and dedicated play equipment.

Surface materials finishes have been chosen to maximize surface water permeability direct to ground and consequently avoid discharge to the public drainage network.

### Play areas diagram



- Informal Playground
- Playground
- 25m walking distance from playground
- 100m walking distance from playground



Fig. 4.21.1-2 (above): South Park, San Francisco



Fig. 4.21.3-4 (above): Courdimanche Playground, France

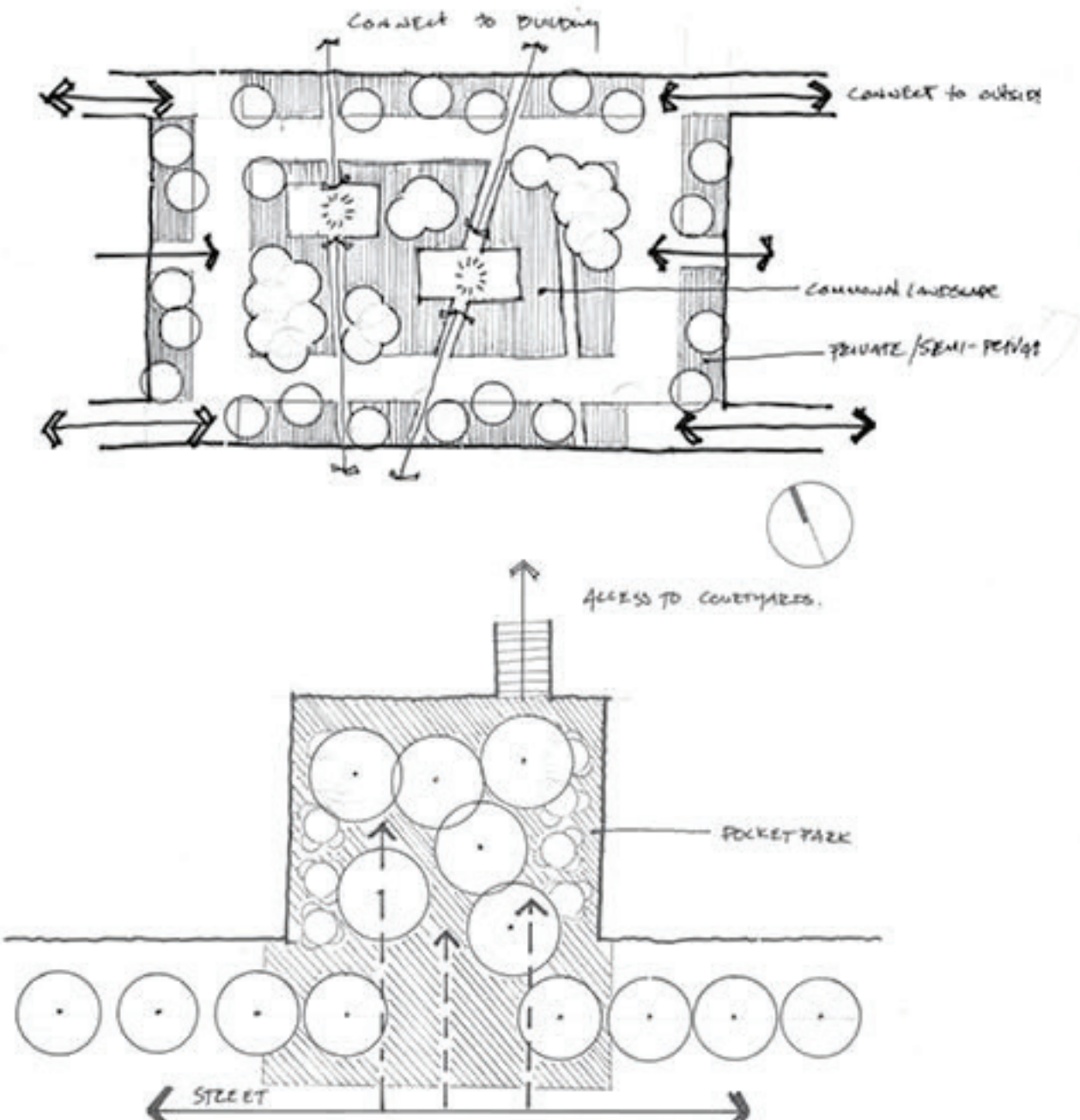


## 4.20 Courtyards

Semi-private communal courtyards are distributed throughout the site. These courtyards offer significant amenity potential for the residents. Courtyards will be programmed with BBQ areas, play areas, lawns, orchards, vegetable patches, water features and follies.

Where located over a basement podium slab, the courtyard will act as a green roof with hard and soft landscaping constructed over a surface water storage mat providing interception, filtration and attenuation of surface water. Where located on grade, surface water will drain to ground through direct infiltration.

Courtyards location diagram





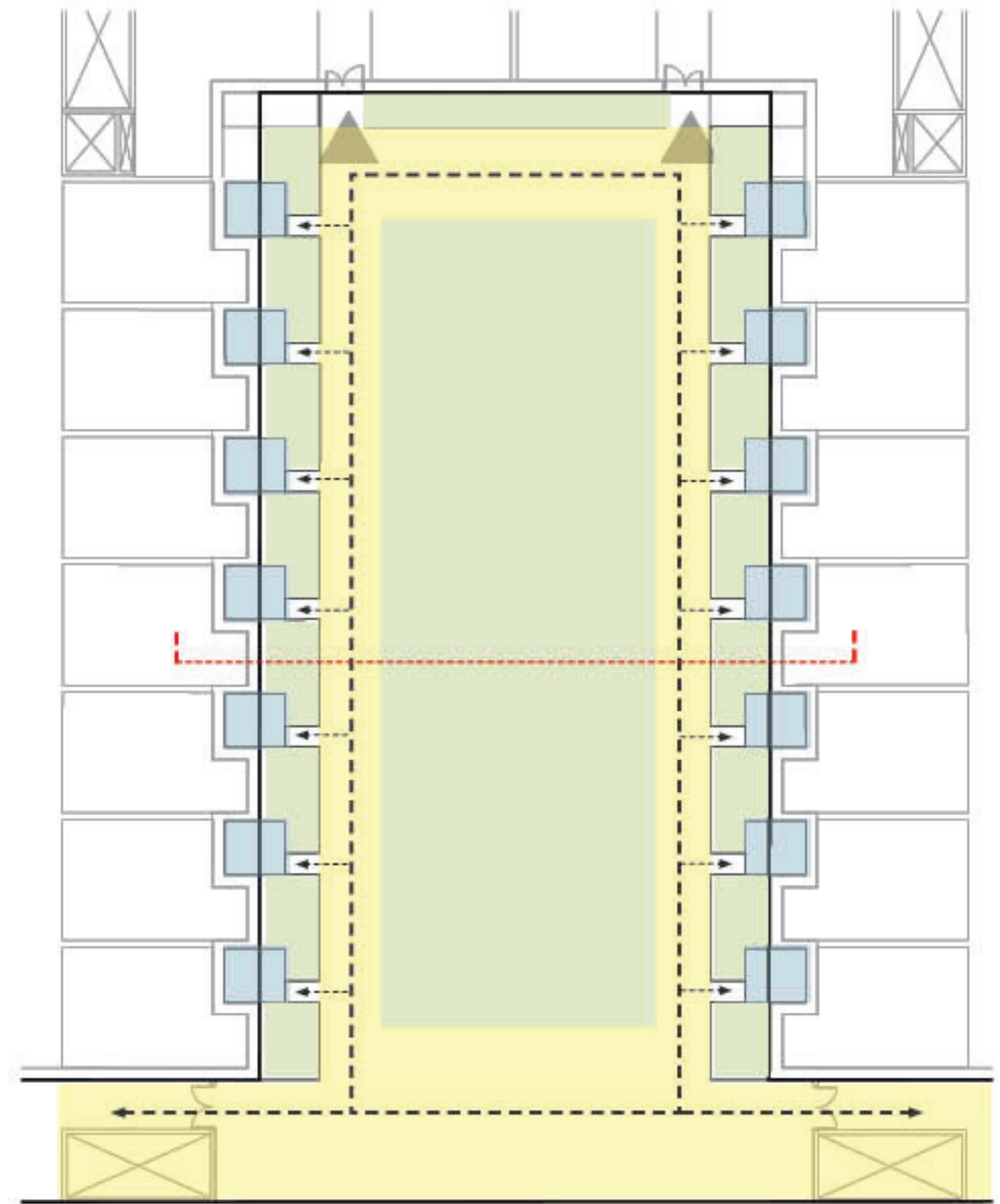
# Courtyards



Fig. 4.22.1: Zoomed in plan



Fig. 4.22.2: Typical courtyard section



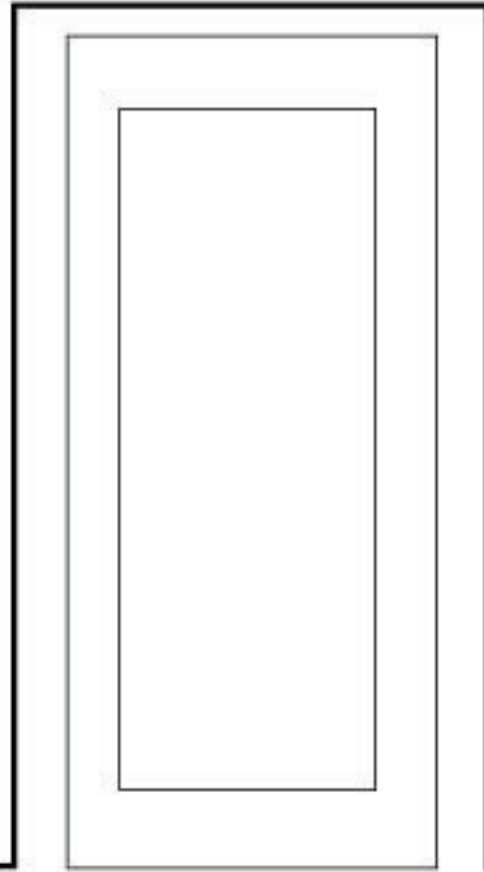
- Communal Amenity Space
- Circulation
- Private Terraces

Fig. 4.22.3: Typical courtyard diagram

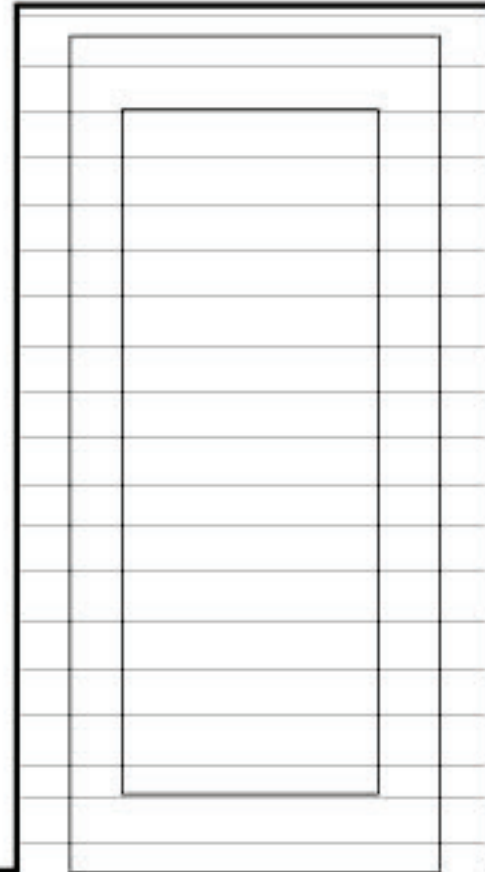


# Courtyards

DEFINE THE SPACE



APPLY THE GRID



WEAVE THE PROGRAMME

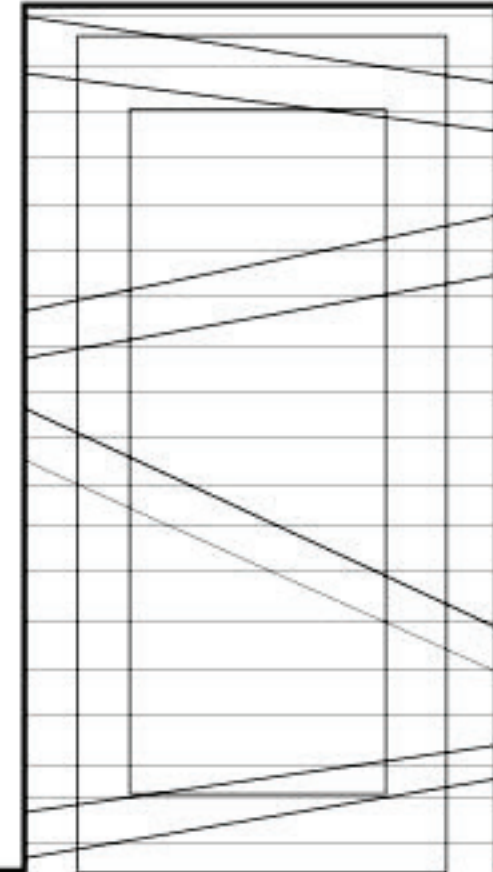


Fig. 4.22.4: Courtyard gathering spaces



Fig. 4.22.5: High quality courtyard materials



Fig. 4.22.6: Accessible lawn areas



Courtyards



Fig. 4.22.7: Typical courtyard illustrative plan



Fig. 4.22.8: Typical courtyard section



Fig. 4.22.9: Image of planting style within courtyard

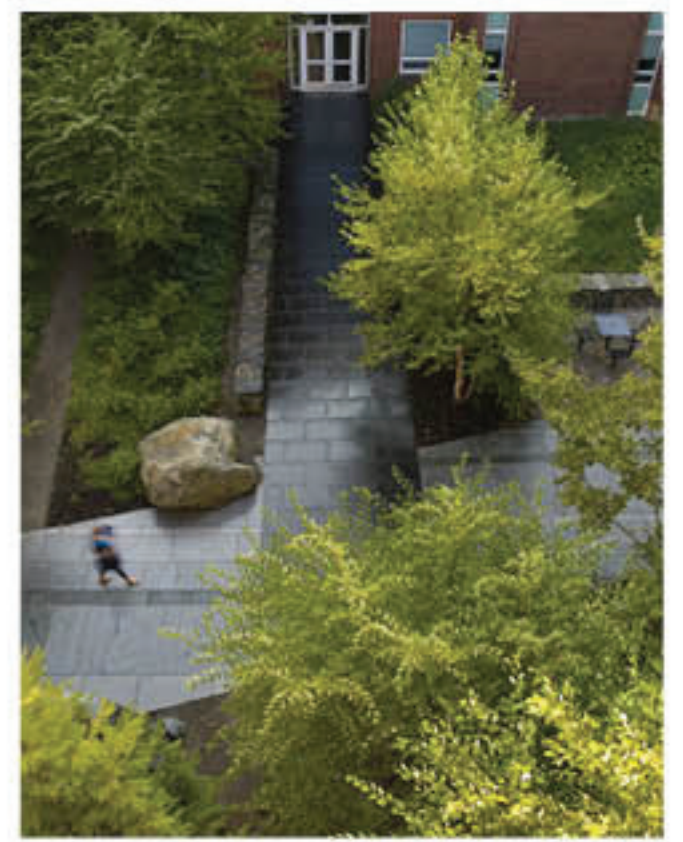


Fig. 4.22.10: Shade tolerant planting



## 4.21 Roof Gardens

Roof gardens are divided into two types - intensive and extensive roof gardens. The latter, commonly called 'green roofs', are not typically accessible to the general public and are only accessed for maintenance. Green roof planting specified in the project is a meadow roof planting mix, which creates perfect conditions for wildlife. Green roofs, both extensive and intensive, are also intrinsic to the surface water management strategy for the Masterplan area, through the provision of interception storage, filtration and attenuation of stormwater. Green roofs also have economic benefits as they reduce the building's energy costs by facilitating temperature control and hydrological benefits capturing and harvesting rainwater. They not only reduce ambient temperature but also capture and harvests rainwater. Intensive roof gardens are integrative part of the buildings, as apart for the ecological value and reducing the heating cost, they add amenity value to the building and create open space area for the residents / visitors.

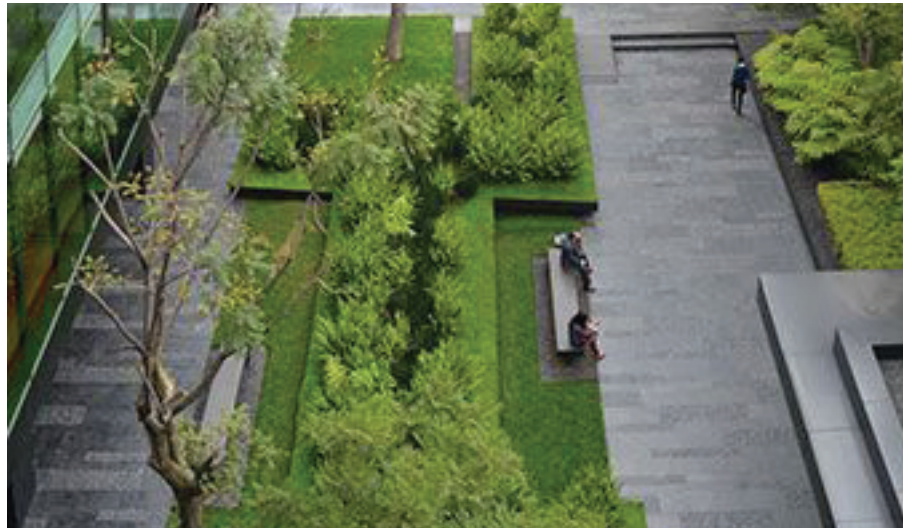


Fig. 4.23.1: Geometrical roof garden design with seating nooks



Fig. 4.23.2: Extensive sedum green roof

### Indicative roof garden locations\*



\*Roof gardens to be considered as part of planning application process subject to demonstration in relation to the quality of usability of the rooftop environment



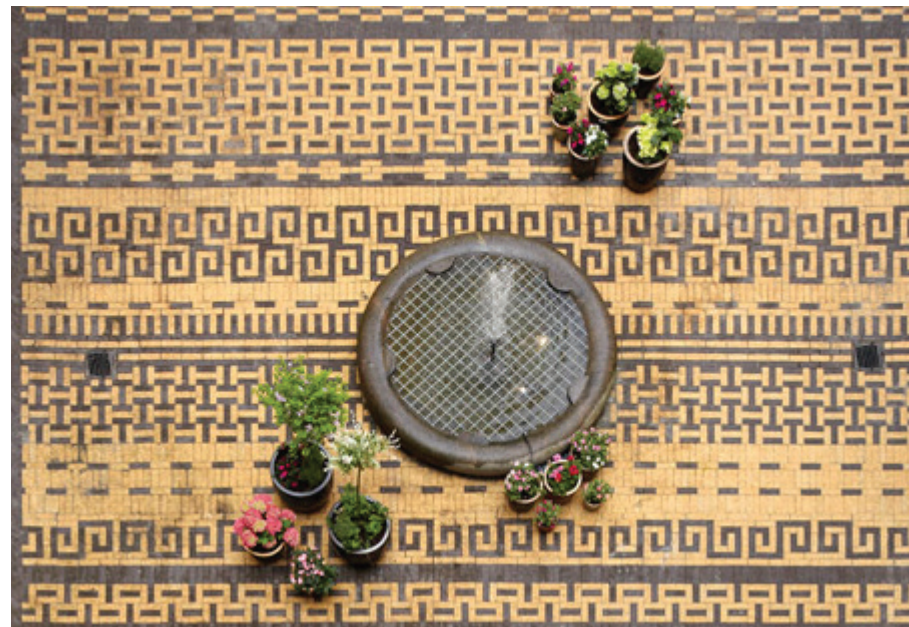
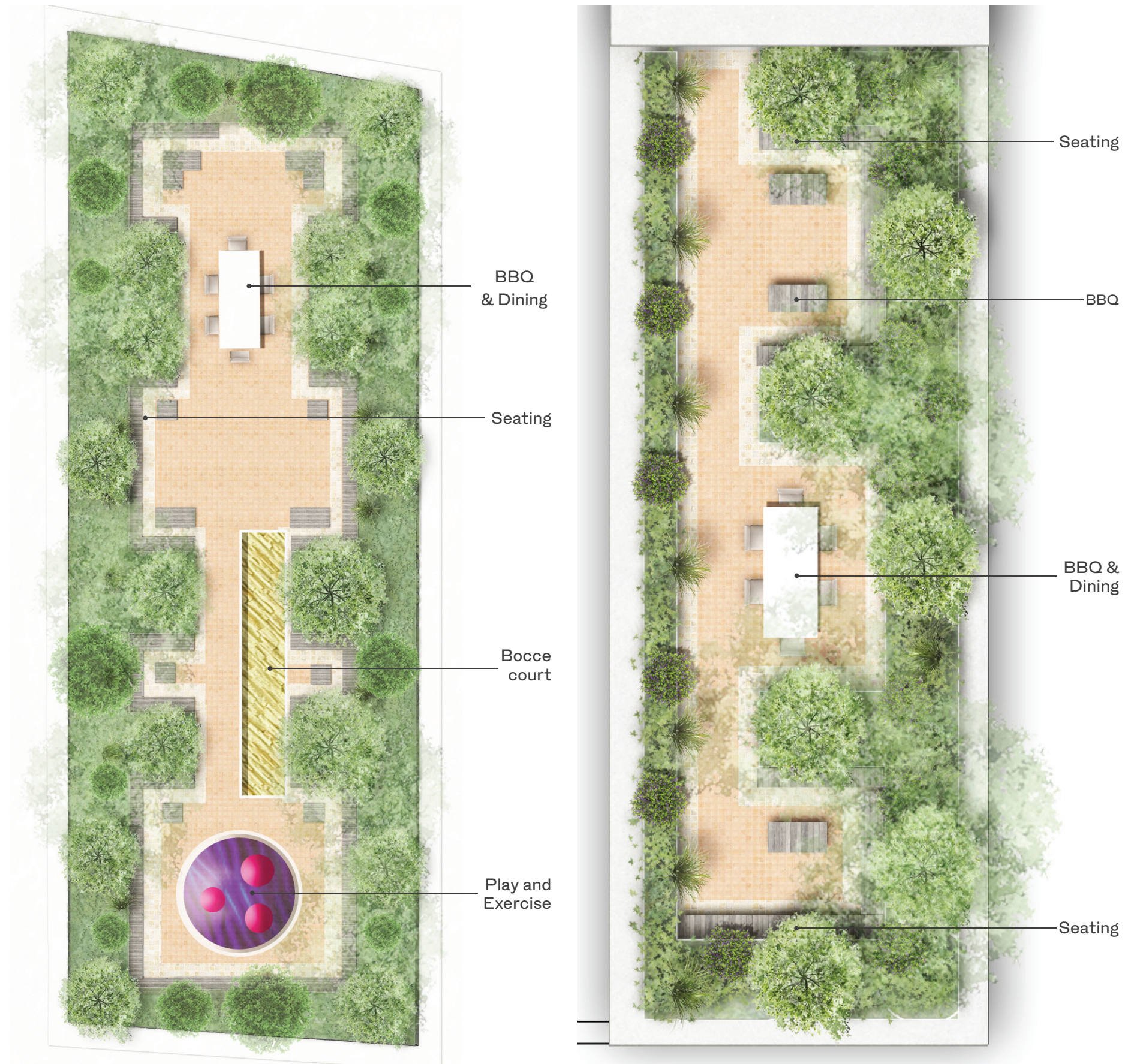


Fig. 4.23.3: Example of buff geometrical paving pattern



Fig. 4.23.4: High quality materials raised planters in roof gardens





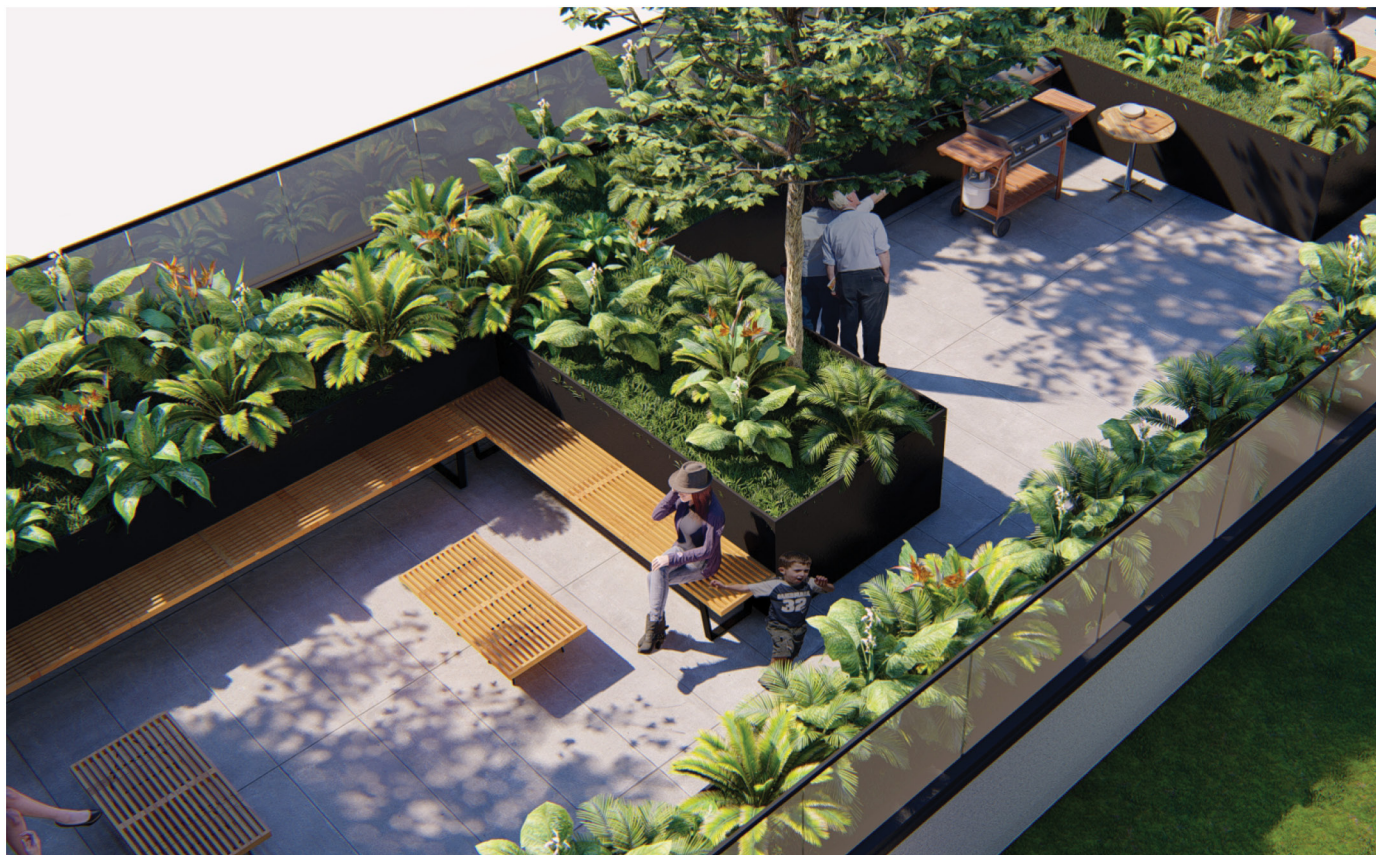


Fig. 4.23.5: Typical Roof garden rendered view - seating area and BBQ



Fig. 4.23.6: Typical Roof garden rendered view - seating area and screening planting



Fig. 4.23.7: Buffer planting to the edge of the roof garden



Fig. 4.23.8: Seating edge on the raised planter wall



Fig. 4.23.9: Roof garden dining area



## 4.22 Streetscape Design

### Street types diagram



- Primary Roads
- Shared Surface/Uncontrolled Junction/Ped Priority
- Shared Surfaces/Homezone
- Pedestrian/Cycle route

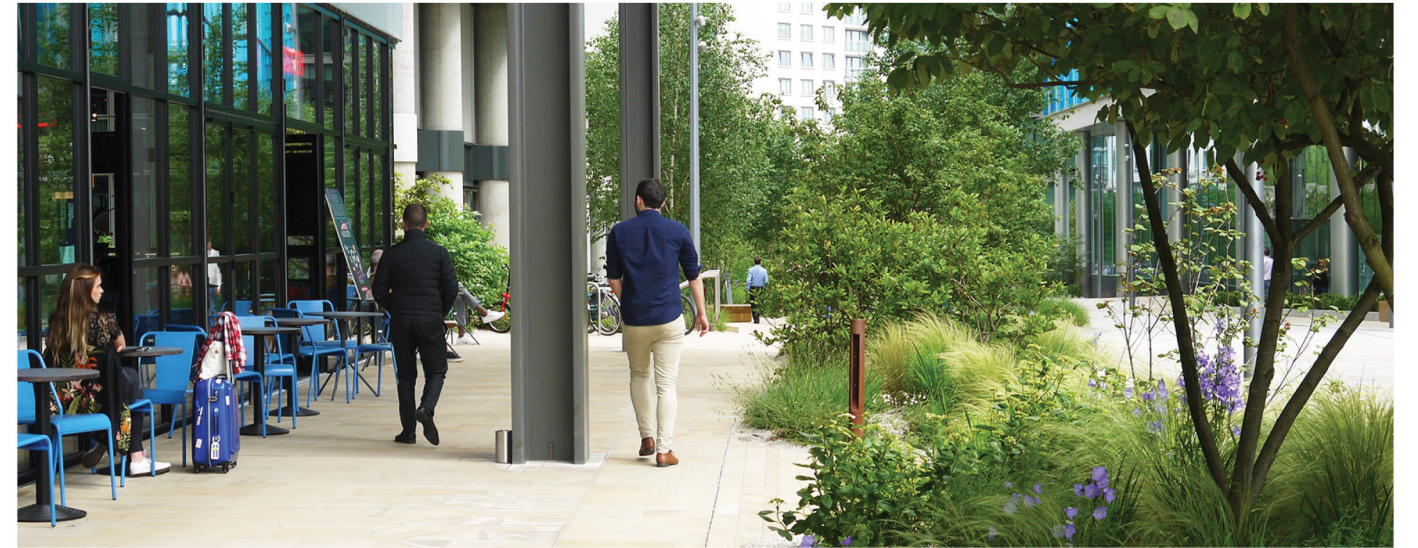
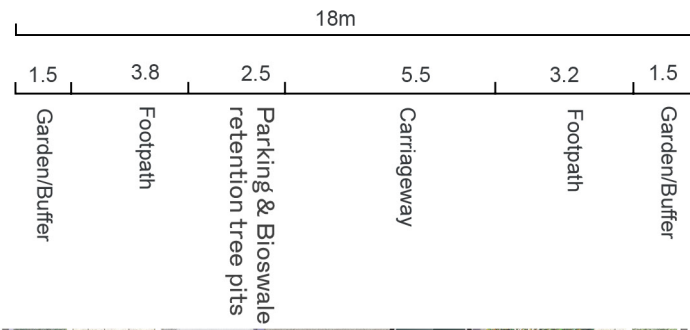


Fig. 4.24.1-2: Kingdom Street, London

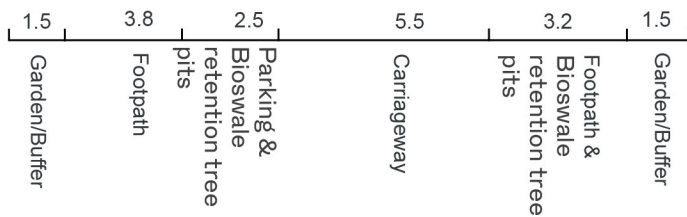




SECTION A



PLAN



MASTERPLAN



# Typical streetscape concept design



18m						
1.5	2.7	2.5	5.5	2.5	1.7	1.5
Garden/Buffer	Footpath	Parking & Bioswale retention tree pits	Carriageway	Landscaping / Bioswale retention tree pits	Footpath	Garden/Buffer

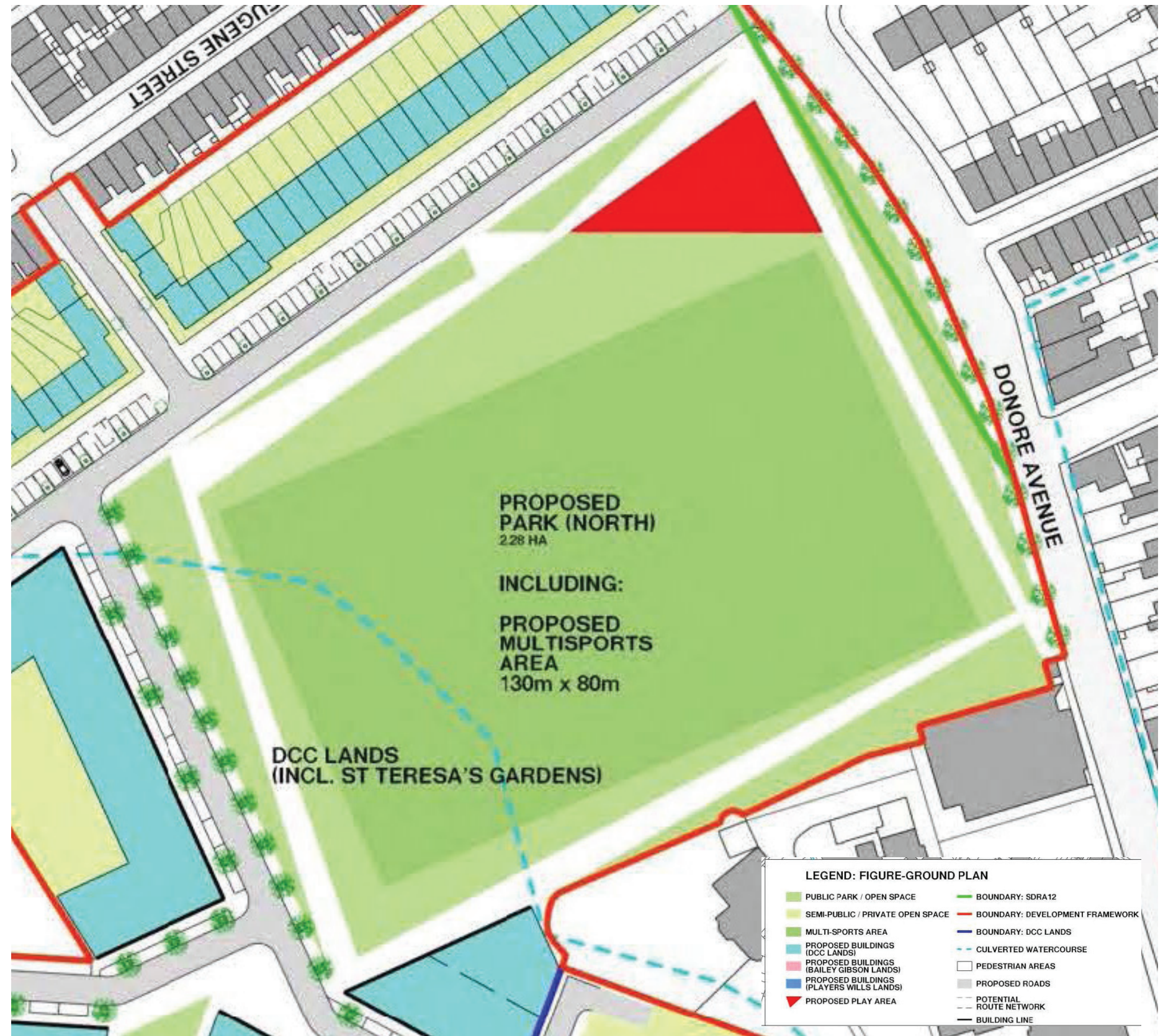




## 4.23 Municipal Playing Pitch Proposal

An important element of the SDRA Development Framework Plan 2017 was to provide full size municipal playing pitch. The current masterplan seeks to instate this pitch as envisioned in the SDRA. A proposed playground adjacent to the pitch will serve as a local amenity to the surrounding neighborhood.

Municipal Playing Pitch Plan - extract from SDRA Development Framework Plan 2017





## Indicative Municipal Playing Pitch illustrative plan



The SDRA Framework Plan indicates that the adjacent Donore Community Centre will facilitate the management / supervision of sport/playing pitch area and provide use of the changing facilities located in the centre. It has since been determined by the City Council that new facilities for multiple sports (including GAA, soccer, boxing, rugby, etc) should be provided as part of the Masterplan development. An area has been identified adjacent to the playing pitch for the provision of changing facilities. The facilities shall be provided at this location, as part of the delivery of the playing pitch, unless an appropriate alternative location integrated within one of the adjacent buildings is identified and preferred during the planning application process. The location identified may also act as a temporary location for changing facilities until such time as a permanent location is identified.

### Legend

- 1 Playground as per SDRA (700m<sup>2</sup>)
- 2 Municipal Playing Pitch (130x80m with 8m Runoff zone)
- 3 Public plaza
- 4 Temporary changing facilities
- 5 Planted Swale/Rain garden
- 6 Contoured mound with seating
- 7 8m wide run off area
- 8 Pedestrian footpath
- 9 Goal Nets



## 4.24 Sitewide Planting

Planting styles and types will vary depending on use. Within the semi-private courtyards the palette will be softer, colourful and generally more shade tolerant. Within the public realm, plants will be more robust, evergreen and require less maintenance. Street trees will be tried and tested urban species.. Roof gardens will be low water usage and wind tolerant species.

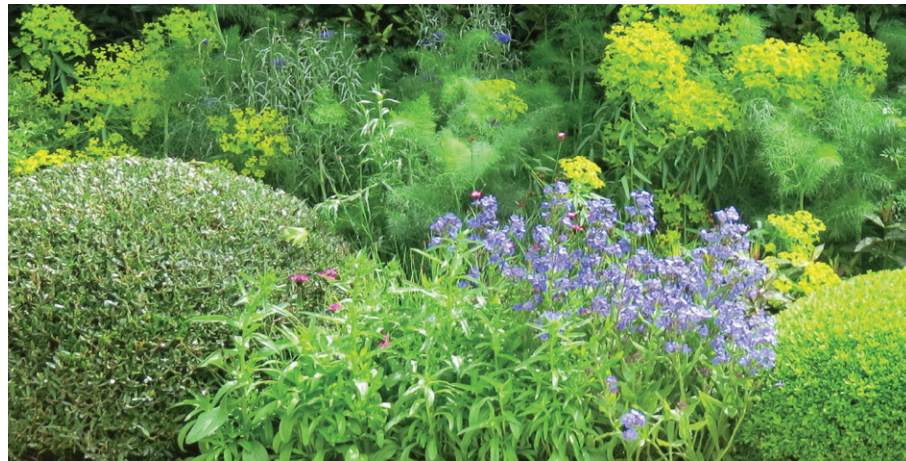


Fig. 4.26.1: Courtyard planting will be generally much softer in character



Fig. 4.26.2: Planting within the streets and squares will be more robust and civic in character with the inclusion of interlinked tree pits as natural surface water retention measures



Fig. 4.26.3-4: Roof gardens will have robust wind tolerant species

### Planting diagram



- Street Planting
- Courtyard Planting
- Public space planting

### Trees hierarchy



- Central Square Trees
- Courtyard Trees
- Street Trees
- Roof Gardens Trees
- Park Lands Trees

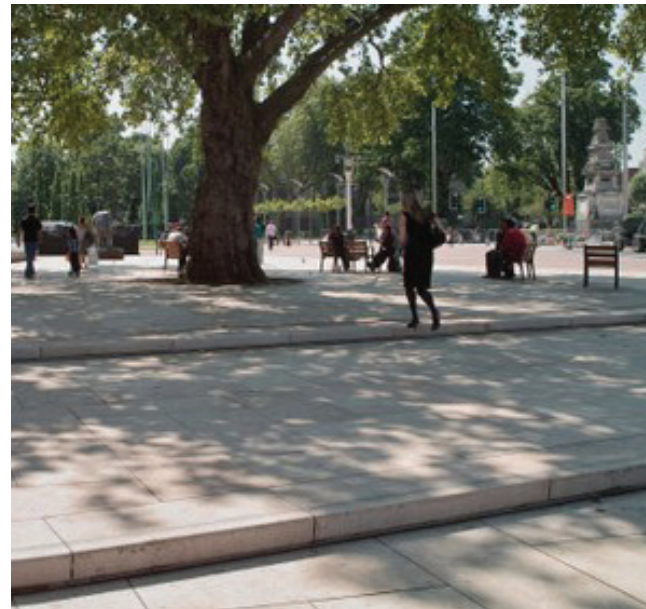


## 4.25 Indicative Materials Palette - Hardscape

### Public Realm and Courtyards

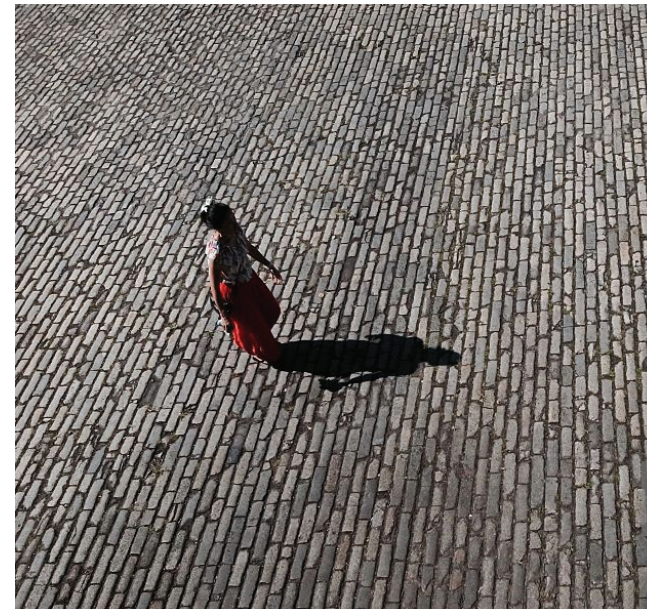
#### HIGH QUALITY PAVING

It is proposed to bring a sense of warmth to the streets by specifying buff coloured granite paving flags to the pedestrian areas in various sizes with a degree of variance through the grain of the stone.



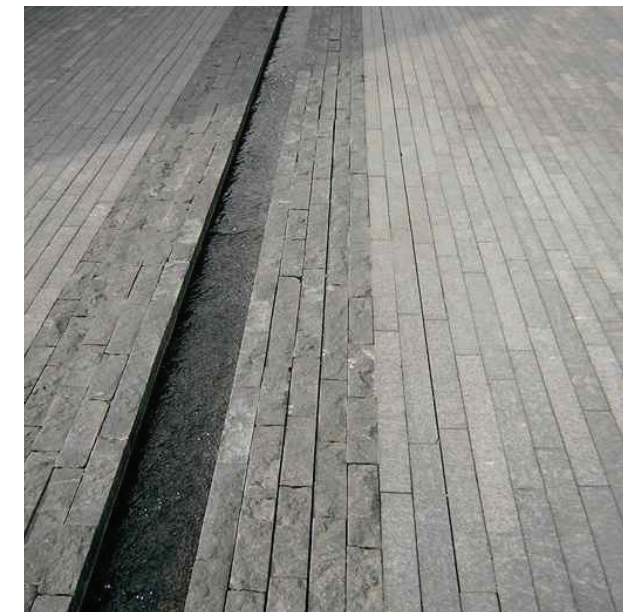
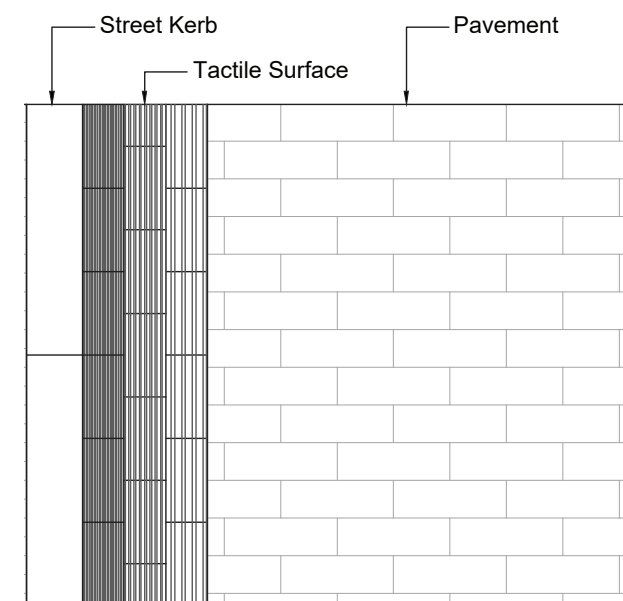
#### RAISED SURFACE

All streets will be finished in Asphalt with the exception of the shared surface to the center of the development and crossing points - it is proposed that these finishes will be in concrete or natural paving stone. Dark in colour 100mm x 200mm in dimension.



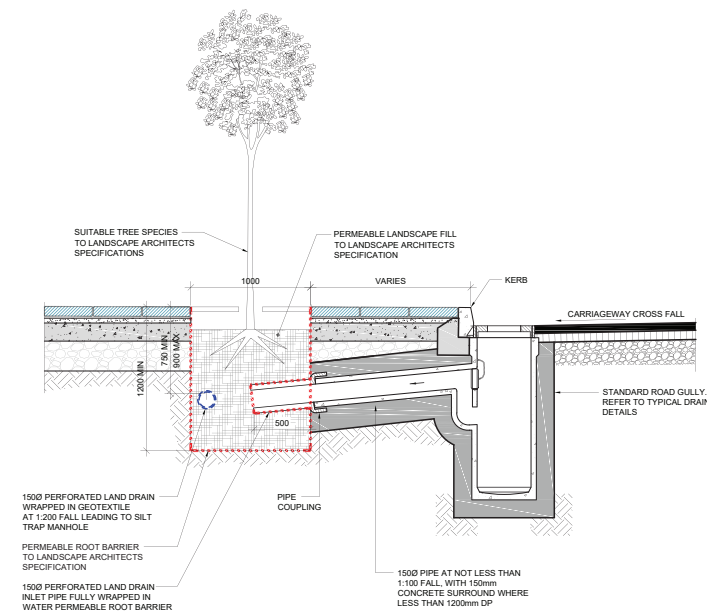
#### EDGE SURFACE TREATMENT TO RAISED TABLES

Edge treatment to raised shared surface will be contrasting in colour to the pavement and street materials in order to allow for easy way-finding for the visually impaired. Rumbled strips will be placed on the edge of the carriageway as informal tactile paving to compliment tactile paving at crossing points. Colour will be grey to mid grey with and sizes will vary with cropped and bush hammered finishes in a concrete or natural stone material.



#### TREE PITS

Typically, street and footpath surfaces shall be impermeable surfacing, with finishes of bitumen, stone pavers, concrete. To provide interception storage of surface water from these impermeable surfaces, they shall be drained to Bio-retention tree pits via a series of road gulleys and linear drains.





Public Realm and Courtyards

TEMPORARY SURFACE - EMERGENCY

Sacrificial concrete has been selected to interfaces with future phases to allow for flexibility in design as and when these spaces might become available. Permanent paving will be selected from the pedestrian street finishes and re-paved at a later date.



ON STREET CAR PARKING

Materials for on street car parking will be delineated in a contrasting concrete or natural stone paving unit 100mm x 100mm or 100mm x 200mm. Finishes will be bush hammered with slip resistance to meet local standards and compressive strength to handle service vehicle run over. Tones will vary with surrounding materials.



COURTYARD SURFACE MATERIALS

Paving proposals for courtyards should have a rustic feel to them using a combination of paving flags and smaller setts and cobbles.





## 4.25 Indicative Materials Palette - Hardscape

### Public Realm and Courtyards

#### LIGHTING

3m tall pedestrian street light,  
Tree uplighters, strip lights

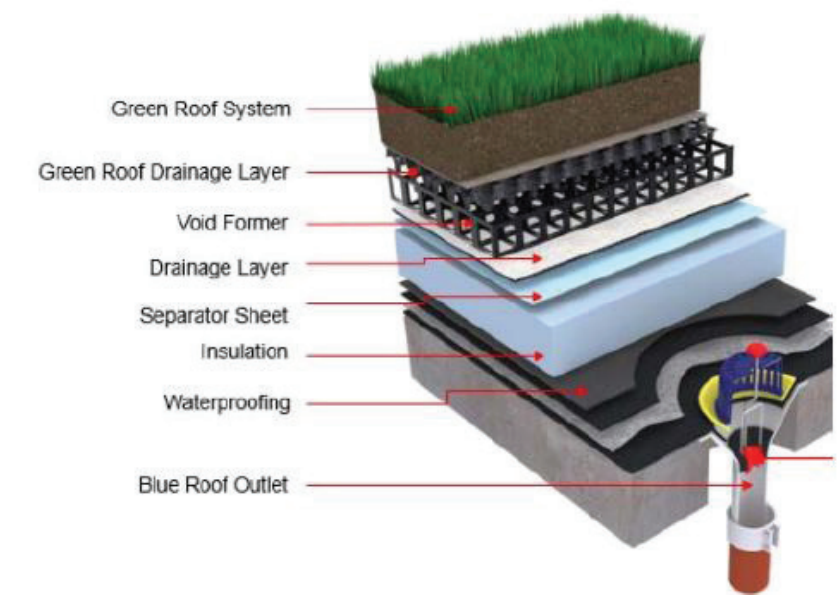
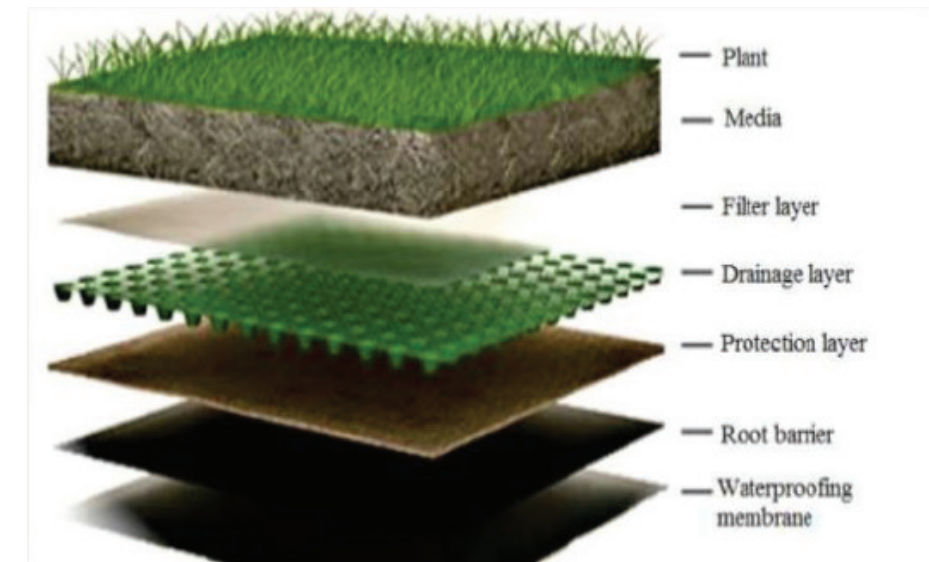


#### INFORMAL PLAY

Provision of rocks, contrasting colour and shapes in landscape.



#### GREEN ROOF AND BLUE ROOF BENEATH GREEN ROOF





## 4.26 Transitional Spaces

It is anticipated that the Player Wills & Bailey Gibson sites will be developed before the DCC lands. The individual sites need to function individually and then come together as a whole once the 3 sites are developed. At the interfaces between PW & BG site and DCC lands it is envisioned that we will use a temporary landscape boundary treatment. This will ensure residents in the first phases are screened from the derelict DCC lands.



Fig. 4.28.1: Beech hedges



Fig. 4.28.2: Temporary gravel



Fig. 4.28.3: Hedge in planters



Fig. 4.28.4: Lawn areas

Temporary Landscape



## 4.27 Masterplan Drainage Strategy

### Background

The Masterplan area is a total of 10.3 hectares comprising DCC lands (6 hectares), The Bailey Gibson lands (1.52 hectares) and the Player Wills Lands (2.78 hectares). The sites are generally serviced separately, with minimal interconnection of drainage services across each site.

### Bailey Gibson Site

The Bailey Gibson lands are bounded to the south by the South Circular Road and private residences, Rehoboth Place and private residences to the west, The Coombe hospital and DCC lands to the north and DCC lands to the east. There are combined sewers located in both Rehoboth Place and the South Circular Road. There are no surface water drains in the surrounding streets. All foul and surface water currently drains to both of the combined sewers in The South Circular Road and Rehoboth Place. There are no flow control or other sustainable drainage initiatives currently in place on the site.

### Player Wills Site

The Player Wills lands are bounded by the South Circular Road to the south, private residences and St. Catherine's National School to the east adjacent to Donore Avenue, St. Theresa's Church lands to the north and DCC lands to the west. There is a combined sewer in the South Circular Road and a second combined sewer in Donore Avenue. There is also a stormwater culvert in Donore Avenue with a direct connection to the Player Wills lands in the north-east corner. There are existing connections to both of the combined sewers, with 73% of all surface water on the site currently draining to these combined sewers. Only 23% of the surface water on the site is drained to a dedicated surface water drain. There are no flow control or other sustainable drainage initiatives currently in place on the site.

### Dublin City Council Lands

The southern central and central west areas of the DCC lands are currently undeveloped green areas. St. Theresa's flats were located within the central area of DCC lands. The majority of the flats have now been demolished. These flats were serviced by separate foul and surface water drains, with separate connections to the combined sewer and surface water sewer in Donore Avenue. There are no flow control or other sustainable drainage initiatives in place on the site. Along the northern boundary of the DCC lands, construction is underway for a development on DCC lands within the Masterplan area. This development is being constructed with a new separate drainage system which incorporates sustainable design principals and flow control devices which treat and attenuate surface water, prior to discharge to the public surface water system.

In total, surface water over an area of 3.55 hectares, from within the Masterplan area, currently drains to the surrounding public combined sewers. This has a significant contribution to inundation of the foul drainage network in storm events, which can result in untreated discharge of combined flows to open water bodies through combined sewer overflows CSO's.

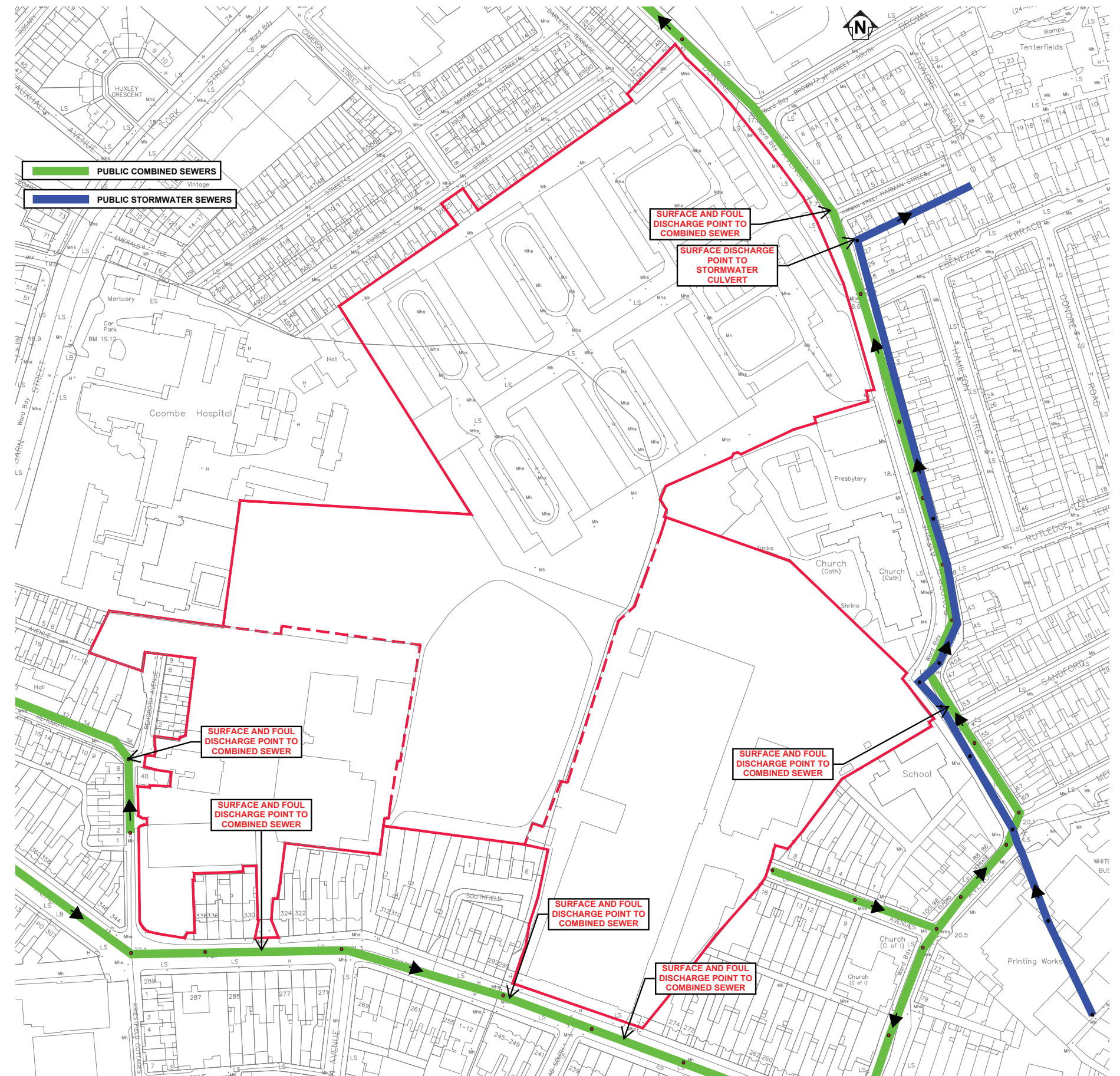


Fig. 4.29.1: Existing Connections to public system  
MASTERPLAN



### Integrated Drainage Strategy

The Greater Dublin Area Regional Code of Practice, Dublin City Development Plan and Dublin City Climate Action Plan set out a series of policies and objectives for new developments with a commitment to sustainable design, achieved principally with the integration of Sustainable Drainage Systems (SuDS). Adherence to sustainable design principals requires a commitment from all stakeholders and, in particular, a collaborative approach to landscape design.

To ensure all surface water discharging from the Masterplan area is directed to a public surface water sewer, while at the same time allowing for the anticipated staged development across the Masterplan area, an integrated drainage network shall be provided, which will:

- a) Provide separate foul and surface water drainage networks with removal of all stormwater discharge to the public foul/ combined sewers.
- b) Facilitate staged development across the Masterplan area.
- c) Employ the use of a SuDS management train to significantly reduce to total volume and peak discharge rate of surface water to the public surface water system to 2l/s/ha with 20% additional allowance for the impact of climate change.
- d) Integrate with landscaping proposals to maximize the use of natural water retention measures.

To achieve this aim, a new surface water drain will be installed from the Bailey Gibson site across DCC lands and connect to the surface water culvert in Donore Avenue adjacent to the north-east corner of the Players Wills site. A second surface water drain will be constructed within DCC lands along the internal street network and finally connect to the same surface water culvert in Donore Avenue in the north-east corner of the Masterplan area. Once all construction is complete, all attenuated surface water discharge from the entire Masterplan area will be directed to the same stormwater culvert running along Donore Avenue.



Fig. 4.29.2: Drainage direction diagram



## Sustainable Drainage Systems (SuDS)

Sustainable Drainage Systems are a collection of water management practices that aim to align modern drainage systems with natural water processes. Integration of SuDS make urban drainage systems more compatible with components of the natural water cycle such as storm surge overflows, soil percolation, and bio-filtration, mitigating the effect human development may have on the natural water cycle, particularly surface runoff and water pollution trends. In the context of this predominantly brownfield Masterplan area, the provision of the following sustainable drainage systems, along with the construction of separate foul and surface water networks, will result in a significant improvement on the public drainage system from current conditions.

### Attenuation Storage:

Due to the planned development density and associated high demand on available open space within the Masterplan area, the storage volume required to attenuate surface water prior to discharge to the public drainage system, shall be provided by means of 'Arch' type underground stormwater chambers, at two specific locations. Attenuation of surface water for the Player Wills site will be provided beneath the playground in the north east area of that site close to the final discharge point to the public system at Donore Avenue. Attenuation of surface water from the combined DCC lands and Bailey Gibson site will be located beneath the landscaped area to the north of the Municipal playing pitch. 'Arch' type attenuation systems allow for effective inspection and cleaning of the system and control the removal of total suspended solids, providing effective water quality treatment.



Fig. 4.29.3: Example of Sustainable Drainage Systems (SuDS)

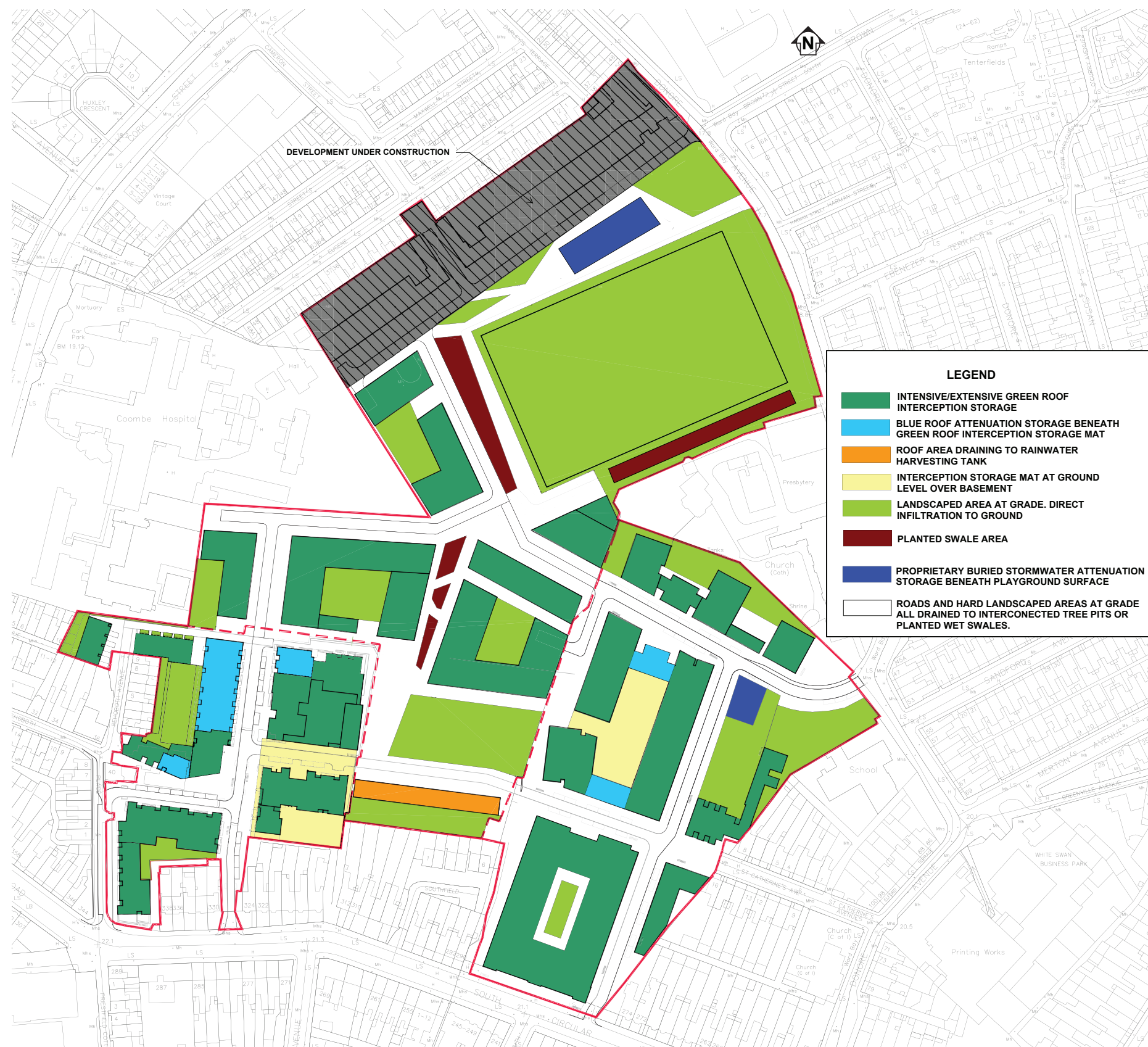


Fig. 4.29.4: Surface water management plan





PLAYGROUND  
0.07HA (700m<sup>2</sup>)

USABLE LANDSCAPE WITH  
STORMCELL ATTENUATION  
BENEATH - SEE ATTACHED  
STORMCELL DETAIL SHEET

PLANTED SWALES TO  
COLLECT SURFACE  
WATER RUN OFF

It is proposed that planted swales (500mm deep) where possible and where there would be an associated ecological value. For sitewide attenuation, the basin would need to be at least 1.5m deep (due to site levels) and therefore unsuitable for recreation due to safety concerns. The planted swales will collect and treat local surface water run off from hardscape roads and paving and the municipal playing pitch prior to discharge to the main stormwater drainage lines, from where it will be directed to an underground "stormtech" chamber system providing site wide attenuation storage. Stormtech systems include a patented isolator row, which enables inspection and cleaning of the system and control and removal of total suspended solids, providing effective water quality treatment. Hence, while this area is unsuitable for surface based attenuation, this alternative approach will still provide effective treatment of the stormwater, prior to discharge to the public system.

Fig. 4.29.5: Surface water management plan for GAA pitch



## Interception Storage:

### Paved Areas:

The road and paved surfaces will be finished in impermeable surfacing, either flexible bituminous pavement, rigid bound paving, impermeable concrete paver or stone pavers. Typically, all streets are provided with trees and soft landscaping zones, with car parking on at least one side. The roads and footpaths will be drained by gullies that connect to tree pits which are interlinked with perforated distribution pipes to create infiltration trenches. The perforated pipes will allow discharge directly to the ground through the surrounding gravel bed. Due to the limited permeability which can be achieved through the sub-surface boulder clays, these pipes will also be connected to the surface water network via silt trap manholes. Notwithstanding the poor sub soil permeability, the gravel bed beneath the tree pits and surrounding the perforated pipes will provide good interception storage, which will retain, filter and attenuate run-off. In tandem with the tree-pits, larger green spaces located within and adjacent to paved areas shall be developed as planted swales. Surface water will be directed from the impermeable paved surfaces to these swales, which will provide interception storage, filtration and attenuation of surface water prior to discharge to the buried drainage network

### Direct Infiltration To Ground

Ground level courtyards shall discharge surface water directly to ground. Hard landscaping zones within paved areas shall be drained to adjacent infiltration trenches within soft landscaped areas.



Fig. 4.29.6: Example of Sustainable Drainage Systems (SuDS)

## Trees

### Species Name

Cingko biloba

Betula Utilis Multistem

Platanus x hispanica

Prunus Serrula Multistem

Pyrus calleryana

Pinus sylvestris

Pinus Nigra

Quercus Palustris

Quercus Robur

Malus hupehensis

## Hedge/Screen Planting

### Species Name

Ilex crenata

Fagus sylvatica

Taxus bacatta



## GREEN AND BLUE ROOF SYSTEMS

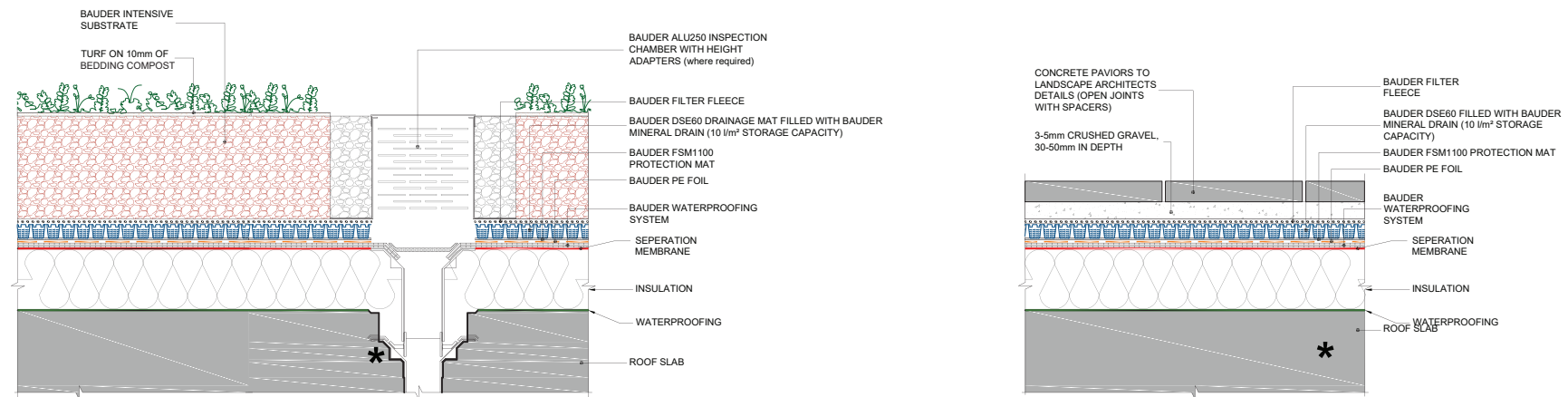
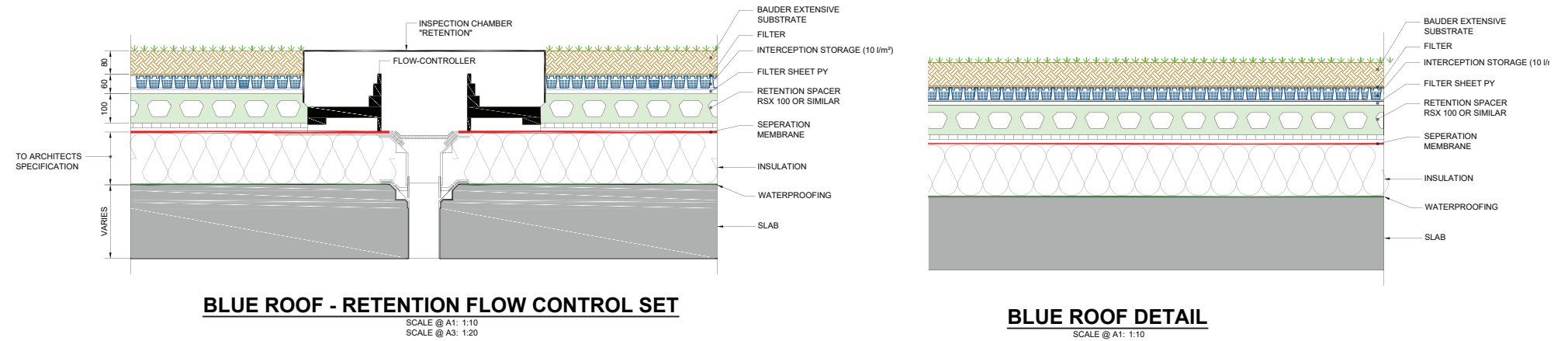
### Green Roofs:

**Intensive** – All roof terraces and podium terraces over basements shall be provided with a proprietary cellular drainage mat under the hard and soft landscaping to give a minimum interception storage volume of 10l/m<sup>2</sup> as well as contributing to filtration and attenuation of surface water. **Extensive** – All roofs accessed only for maintenance and repair will be provided with a sedum blanket over a proprietary cellular drainage mat to give a minimum interception storage volume of 10l/m<sup>2</sup>, as well as contributing to filtration and attenuation of surface water.

**Blue Roof Attenuation** - Certain roof areas, generally those areas adjacent higher green roofs, have been selected to provide blue roof attenuation storage beneath the interception storage mat. Once the cellular drainage mat has filled, the surface water will enter the open crate storage cells below and spread across the area of the roof. Isolated flow control outlets will restrict flow to discharge at a rate of 2l/s/ha based on the blue roof catchment area.

### Rainwater Harvesting:

Surface water shall be harvested from certain roof surfaces to provide water supply to landscaped areas.



\* FOR AREAS TRAFFICKED FILTER FLEECE TO BE OMITTED & 200mm R.C. SLAB TO BE CAST OVER DSE60 DRAINAGE MAT & SURFACE FINISH TO LANDSCAPE ARCHITECTS REQUIREMENTS PLACED OVER CONCRETE.

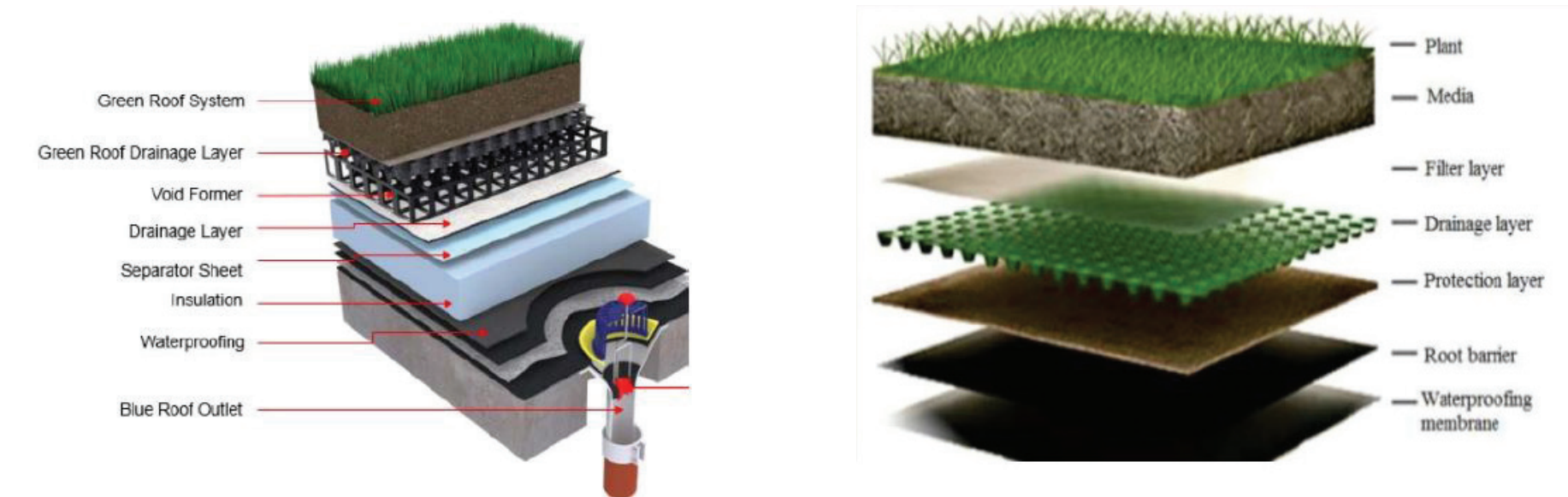
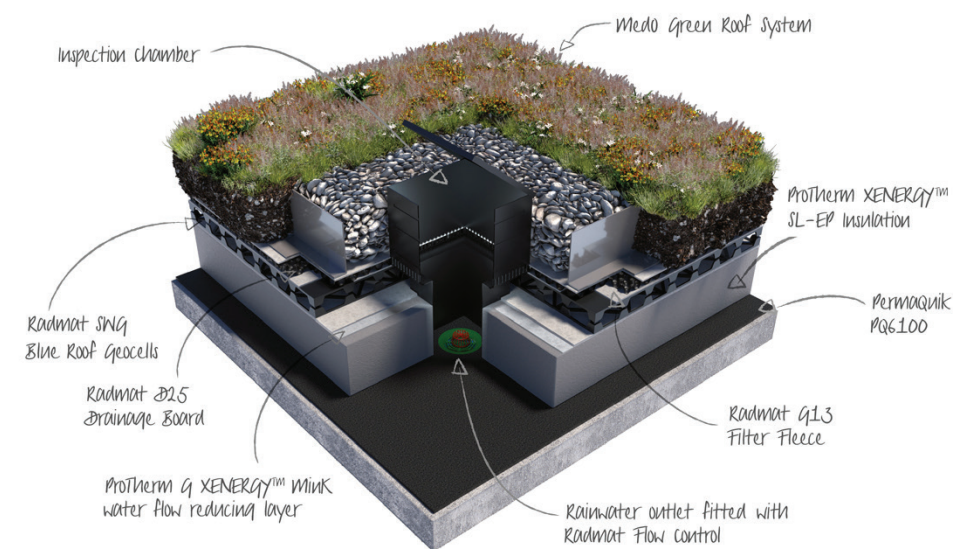






Fig. 4.29.10: Images of Planted Swales (Sheffield Town Centre)

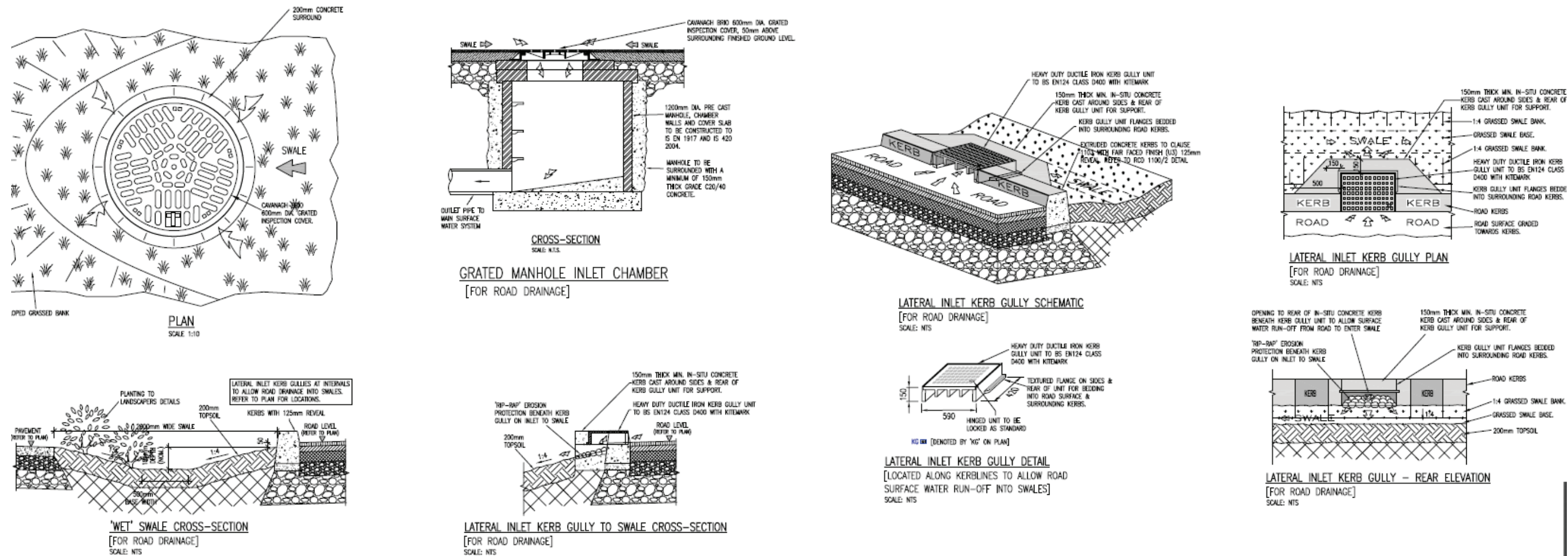


Fig. 4.29.10: Typical swale details



## 4.28 Parking Strategy

The Dublin City Council Development Plan 2016-2022 sets out residential parking standards for cars, motorcycles and bicycles for new developments based on the site location with respect to defined DCC parking zones. The maximum car spaces to be provided for developments within Zone 2, where SDRA 12 is located, is 1 space per unit with a minimum of 1 cycle space per unit provided. Motorcycles spaces are provided in addition to car spaces at a rate of 4% of total car spaces. However, it should be noted that the car parking standards are a maximum not a target and reduced parking can be considered in accessible locations where other modes of transport are sufficient and/or alternative solutions such as on-site car clubs are provided.

The Design Standards for New Apartments – Guidelines for Planning Authorities published by the Department of Housing, Planning and Local Government in March 2018, state that for developments “comprising wholly of apartments in more central locations that are well served by public transport, the default policy is for car parking provision to be minimised, substantially reduced or wholly eliminated in certain circumstances.” For Build to Rent developments the guidelines stipulate the default car parking standards should be “minimal or significantly reduced”. The guidelines also state that bicycle parking should be provided at a rate of 1 per bedroom, above the provision set out in the DCC standards.

Based on both sets of guidelines and given the walking and cycling accessibility, as well as proximity to high frequency public transport services, a reduced car parking ratio is considered appropriate for SDRA 12. Providing reduced car parking will have benefits in terms of minimising car use, increased physical activity of future residents, the environment and air quality, road safety and the use of available space. It is also in keeping with local trends from the 2016 census data which show that there is on average just 1 car for every 3 units in areas with a high proportion of apartments within the city.

For the lands within Dublin City Council control, it is anticipated that due to tenure mix and the site’s accessible location there will be a low number of car parking spaces required. There are a number of options for basements within the DCC lands, however the most efficient option is likely to be a podium parking option coupled with surface parking. This will be further developed at planning application stage.

For the Bailey Gibson and Player Will sites, these schemes are based on a build to rent model and as such car parking provision should be significantly reduced, in accordance with the design standards for new apartments as outlined above. However, it is considered that some element of basement provision will be required to meet car parking requirements on these sites. The parking provided will address the need for residential car storage, car share spaces and help promote city centre and family living, all in line with the policies set out in the DCC Development Plan. The basement parking will be coupled with some provision of surface parking, principally for visitors.

The exact level of car parking provision will be determined at planning application stage based on tenure type and mix, a detailed assessment of modal split and car ownership trends. It is important that any spaces provided do not promote car usage within the city and are accompanied with appropriate supporting mobility management measures, discussed further in Section 4.16. These mobility measures should also support and enable those residents who may be living ‘car-free’ providing them with a range of sustainable mobility options and negating the need to own a car.

The quantum of on-street car parking across each site will be optimised based on the proposed mix of land use whilst balancing the need to deliver a high quality public realm. This will facilitate short-term visitor parking and visitors to the playing field traveling by car. In order to help control any potential overspill onto the adjoining residential streets, the on-street car parking will be pay and display and will be in line with rates on the surrounding road network. Facilities should be available on-street and off-street for electric car charging points, in line with the objectives of the DCC Development Plan and Draft Climate Change Action Plan.

Residential bicycle parking will be provided above the ratio outlined in the DCC Development Plan to encourage more sustainable trip making. The bicycle parking shall be secure and sheltered, and where located at basement level accessed via a segregated cycle access will be provided. Sheffield stands will be provided at street level throughout each site to maximise the number of available visitor cycle spaces.





## 4.29 Mobility Management

To encourage and embed the use of active and sustainable modes, reduce the need for car ownership and support a lower car parking ratio across the site, a Mobility Management Plan (MMP) will be implemented for the masterplan area. The overall aim of the MMP is to minimise the proportion of vehicle trips and address the forecast transport needs of the end-users of the site. This is firstly achieved through reducing the need to travel, particularly by car, and secondly ensuring viable sustainable travel options are available and actively promoted to residents and visitors to the site. These measures help reduce the need to use or indeed own a car.

To achieve the above, there are a number of “hard” and “soft” measures which can be implemented as part of the MMP as follows:

- On site services such as a gym, crèche, convenience retail, co-working areas, coffee shops/restaurants, parcel collection/delivery services and dry cleaning
- Appointment of a Mobility Manager to ensure the implementation of the MMP
- On site cycle share/hire
- Increased provision of cycle parking
- On site bike maintenance facilities
- Car sharing matching service and/or residential car club
- Resident’s Welcome Travel & Information Pack
- Marketing & promotion of sustainable travel options
- Sustainable travel incentives such as discounts negotiated with local bike shops and car hire/clubs
- Personalised travel planning for individual residents with trained field officers aimed at supporting and motivating individuals to travel sustainably

As the Bailey Gibson & Player Wills sites are proposed as BTR, there is a 15-year covenant which includes a management company. This guarantee will enhance the ease and effectiveness of the implementation of the MMP and appointment of the Mobility Manager.

The implementation of this MMP and the associated parking strategy will contribute to achieving the objectives of the GDA Transport Strategy, DCC Development Plan and Climate Change Action Plan in promoting the increased use of more environmentally friendly and sustainable modes of transport which will result in a reduction in private car use and dependency.





# APPENDIX









# Player Wills Site

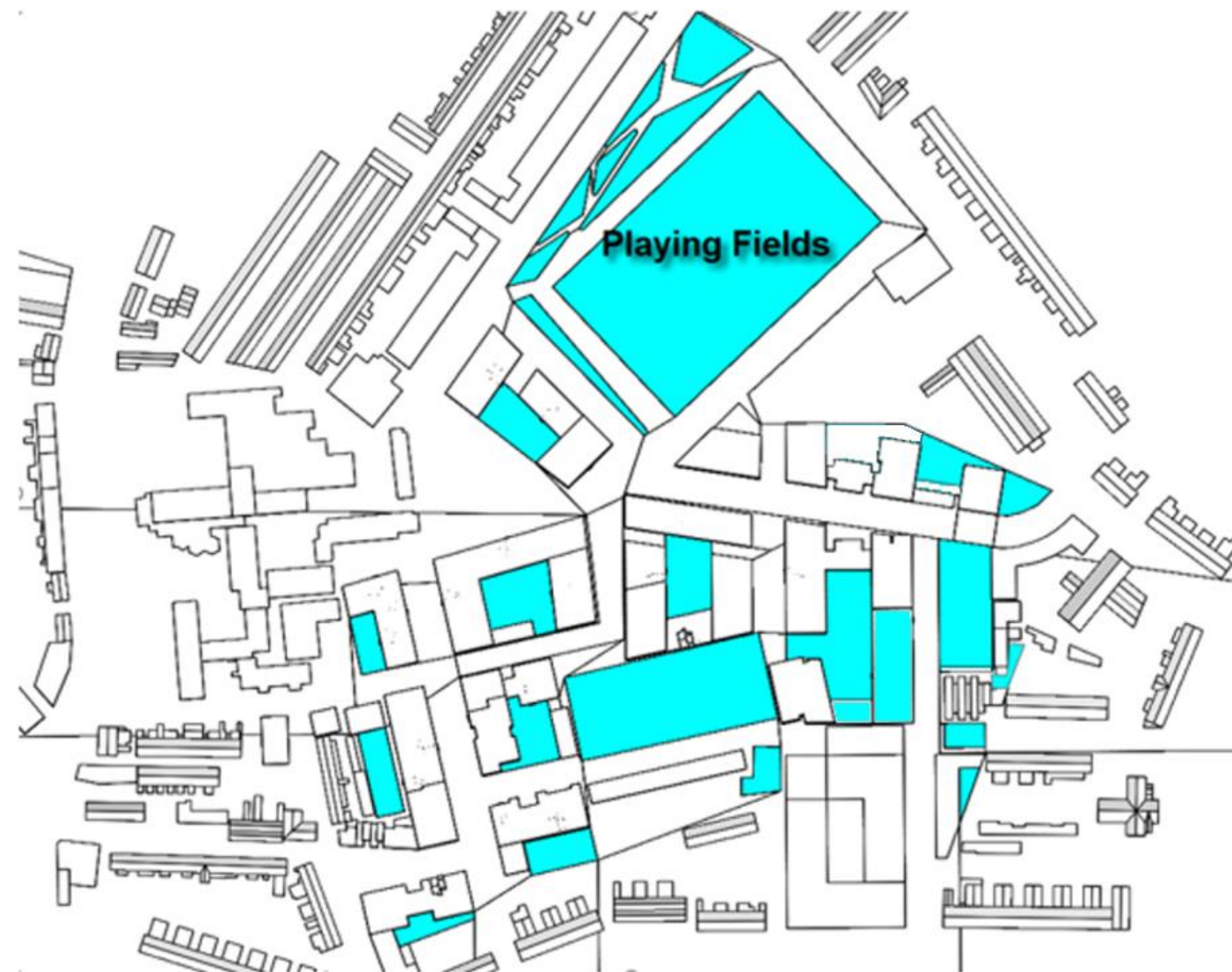
*Daylight, Sunlight and Overshadowing Study*

*01/10/2019*

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# Site



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# Sunlight to the Proposed Amenity Spaces

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## Guidance Requirements

The impact of the development proposal on the sunlight availability in the amenity areas will be considered to determine how the amenities perform when assessed against the BRE's 2011 guidance document Site Layout Planning for Daylight and Sunlight which states the following in Section 3.3.17.

### Summary

3.3.17 It is recommended that for it to appear adequately sunlit throughout the year, at least half of a garden or amenity area should receive at least two hours of sunlight on 21 March. If as a result of new development an existing garden or amenity area does not meet the above, and the area which can receive two hours of sun on 21 March is less than 0.8 times its former value, then the loss of sunlight is likely to be noticeable. If a detailed calculation cannot be carried out, it is recommended that the centre of the area should receive at least two hours of sunlight on 21 March.

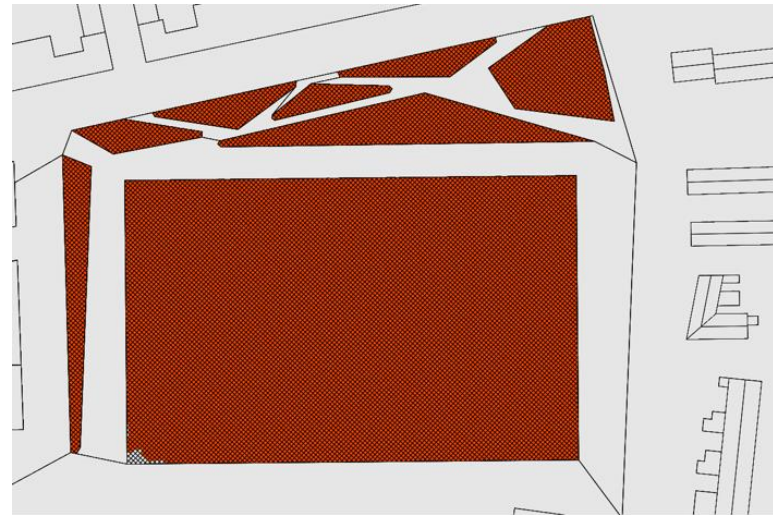
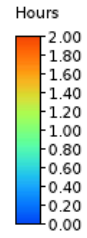
BRE's 2011 guidance document Site Layout Planning for Daylight and Sunlight states in 3.3.17 that for a space to, appear adequately sunlit throughout the year, at least half of a garden or amenity area should receive at least 2 hours of sunlight on 21st March. The following images shows the predicted results with respect to this space receiving at least 2 hours of sunlight on 21st March, across the gridded cells. Any gridded cells area below 2 hours are shown as grey.



# Playing Fields



21/Mar - 00:00 to 21/Mar - 23:00

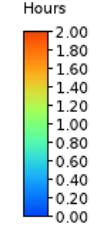


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# Central Park



21/Mar - 00:00 to 21/Mar - 23:00

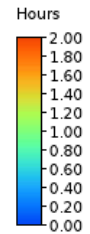


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# Block PW2 – Surface Level



21/Mar - 00:00 to 21/Mar - 23:00

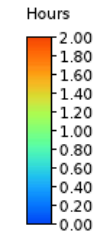


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# Block PW2 – Roof Terrace Level



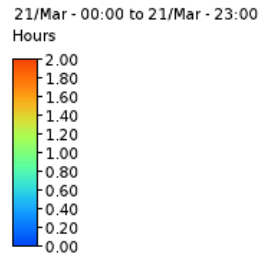
21/Mar - 00:00 to 21/Mar - 23:00



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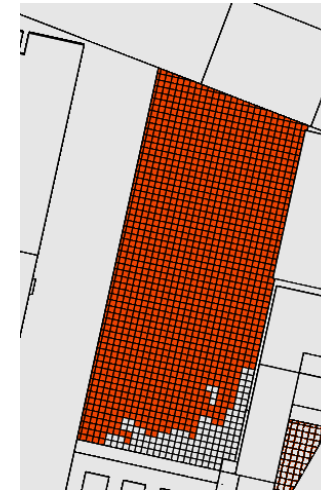
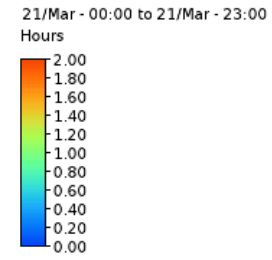


# Block PW3



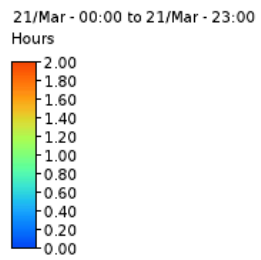
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# Local Park



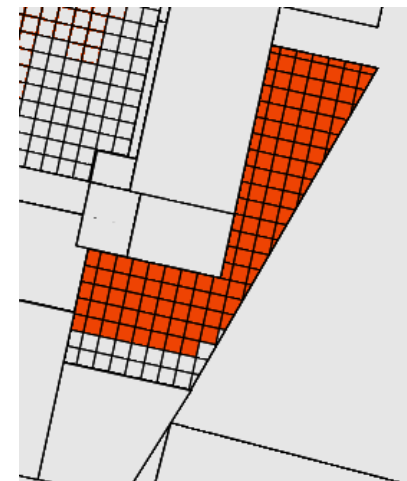
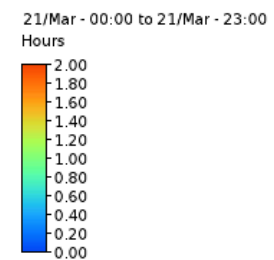
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# Block PW5



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# Block PW4



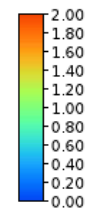
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# Block BG3-BG4



21/Mar - 00:00 to 21/Mar - 23:00  
Hours

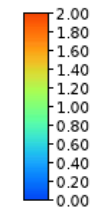


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# Block DCC6



21/Mar - 00:00 to 21/Mar - 23:00  
Hours

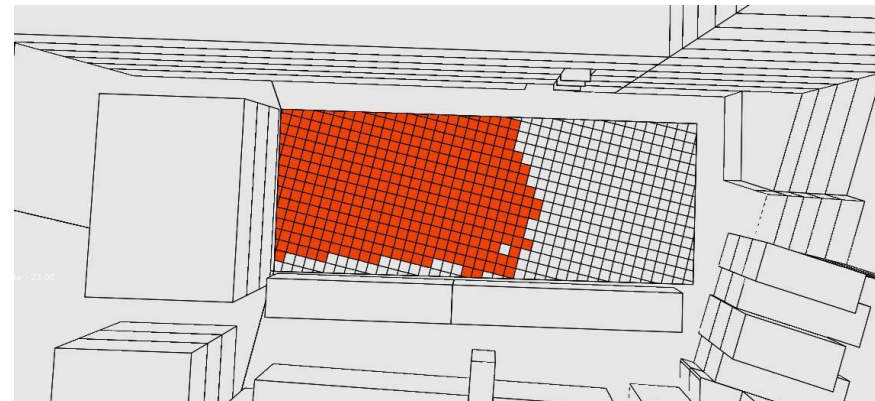
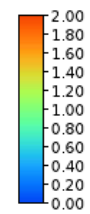


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# Block BG1



21/Mar - 00:00 to 21/Mar - 23:00  
Hours

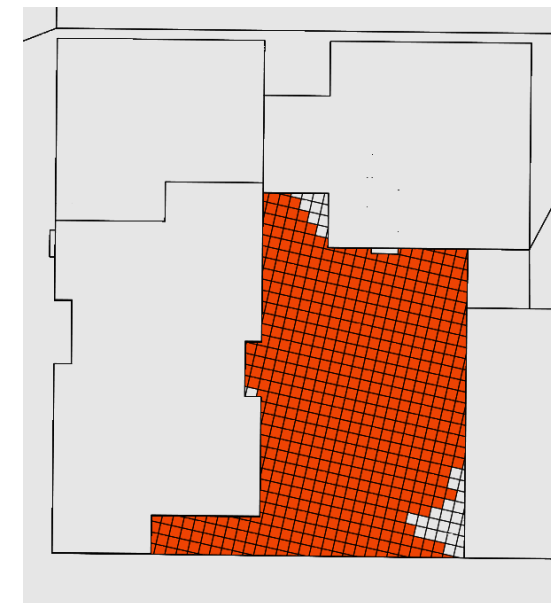
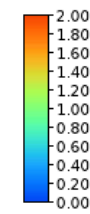


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# Block BG2



21/Mar - 00:00 to 21/Mar - 23:00  
Hours



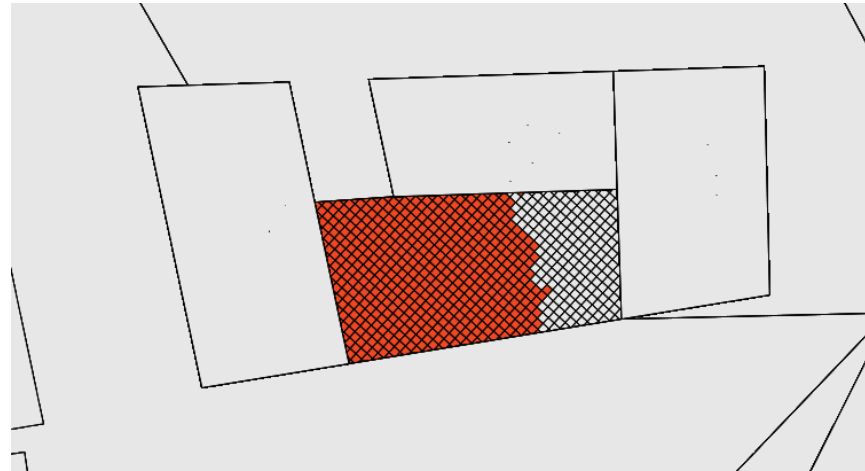
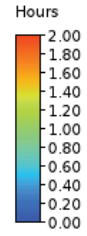
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# Block DCC1



21/Mar - 00:00 to 21/Mar - 23:00

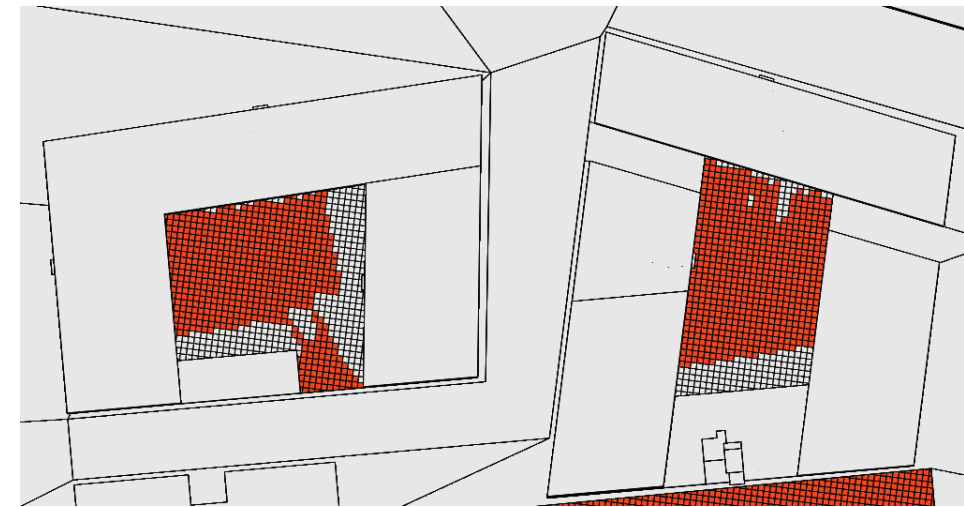
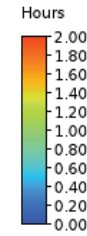


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# Block DCC3-DCC5



21/Mar - 00:00 to 21/Mar - 23:00



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# Solar Results Summary



Table of results showing % of amenity area receiving > 2 hours of Sunlight on the 21<sup>st</sup> of March

Amenity Reference	Location	% >2 hours at surface level receiving sunlight on March 21st	% >2 hours at roof terrace level receiving sunlight on March 21st	Total % >2 hours receiving sunlight on March 21st
1	BG1	54	-	54
2	BG2	96	-	96
3	BG3	100	-	100
4	BG4	98	-	98
5	PW2	50	96	70
6	PW3	86	-	86
7	PW4	86	-	86
8	PW5	98	-	98
9	DCC1	69	-	69
10	DCC3	83	-	83
11	DCC5	70	-	70
12	DCC6	93	-	93
13	Local Park	90	-	90
14	Municipal Playing Pitches	99	-	99
15	Central Park	99	-	99



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